

# Form 7

## Code Compliance Certificate **BC141564**

### Section 95, Building Act 2004

#### The building

Street address of building: 41 Koura Drive RANGIORA

Legal description of land where building is located: LOT 146 DP 476266 0.069400 Ha

Valuation number: 2165902312

Building name:

Level/unit number: 1

Current, lawfully established, use: Residential

Year first constructed: 2015

#### The owner

Name of owner: Horncastle Homes

Contact person:

Mailing address: PO Box 8255 Riccarton Christchurch 8440

Phone number: Landline: Mobile:

Email address: anna@horncastle.co.nz

First point of contact for communications with the council/building consent authority:

Horncastle Homes

#### Building work

Building consent number: BC141564

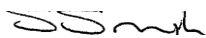
Consent description: Dwelling With Attached Garage

Issued by: Waimakariri District Council

#### Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent



Sarah Smith

Building Consent Administrator

On behalf of Waimakariri District Council

Date: 17 August 2015



## III. Neuro Nutrition

BC141564.03

**150817120019**

**BC NO: 141564 WDC REC**



### 10 working days prior to Pre-Roof Inspection

**RC:**

Issued ☐

Date:

Scanned / Electronic

**Entered in TRIM**

## Costing Sheet in TRIM/NCS

### Emailed to PIMs

**Entered in Sharepoint**

OWNER: Horncastle Homes Ltd - Anna

PHONE: 033413693 / 033488906

AGENT:

PHONE:

DESIGNER: Selina Adams : 033488905

**SITE: 41 Koura Drive, Rangiora Lot 146**

BUILDER:

TYPE: New (& prebuilt) House, Unit, Bach, Crib, Tow

Date Processed:

Processed By:

ENDORSEMENTS (Any special conditions/endorsements on the Building Consent and/or documents that must be drawn to the attention of the owners/subcontractors)

These are noted on the left inside page (see over) \*

PROJECT COMPLETE/ CCC APPROVED -

INSPECTOR'S SIGNATURE:

NAME: \_\_\_\_\_

DATE:

## INSPECTION ISSUES

### INSPECTION ISSUES NOTED DURING PROCESSING:

\*NO CCC TO BS ISSUED PRIOR TO 224c

### ALTERNATIVE SOLUTION/S:

### AMENDMENTS (AFTER CONSENT ISSUE):

DATE: 30/10/14 truss as built layout & fixings *min*

ENGINEER TO INSPECT: 1. SLAB PREPOUR

### SURVEYOR REQUIRED (PEGGING / FFL / RECESSION PLANE):

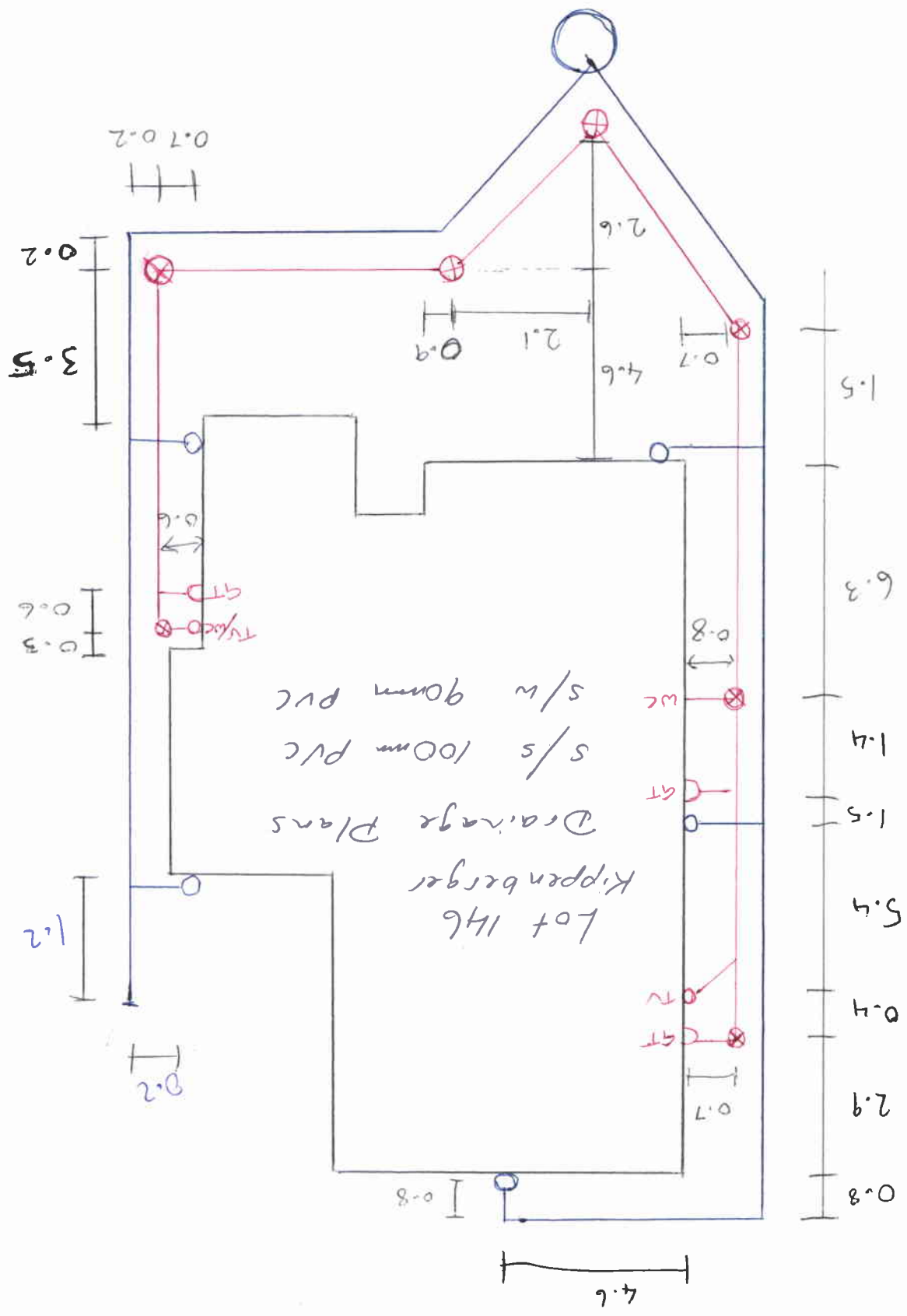
BUILDING LOCATION CERTIFICATE REQUIRED TO CONFIRM PEGGING, FFL, RECEPTION PLANE

FIRE ENGINEER TO INSPECT:

ITEMS FOR COUNCIL TO INSPECT (SUCH AS EFFLUENT/POOL FENCING):

### CONSTRUCTION REVIEWS REQUIRED TO SUPPORT PRODUCER STATEMENT DESIGN AND INSPECTION:

PS4 - ENGINEER, ELECTRICAL CERTIFICATE, PLUMBER'S PRESSURE TEST. PS3 FOR WASTES IN SLAB.





**WAIMAKARIRI**  
DISTRICT COUNCIL

Private Bag 1005, Rangiora 7440  
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432  
[www.waimakariri.govt.nz](http://www.waimakariri.govt.nz)

**PRODUCER STATEMENT PIPEWORK TESTING**

BC No. 141564

Issued by (Plumber):

Tony Doornendaal

For (Owner):

Horncastle Homes Ltd

At (address):

Lot 146 Kippenberger

In respect of the testing of water pipe work prior to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

- ☒ By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)
- ☐ By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was:

- ☐ By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

- ☒ All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

**SIGNATURE OF LICENSED CERTIFYING PLUMBER:**

Signature:

W. M. L.

Date: 16/02/2015

Registration Number:

08518

Company Name:

DANIELA PLUMBING

SYRUS TILING COMPANY LIMITED

po box 20364, bishopdale, christchurch  
phone: 027 220 9422, fax 03 360 3612, email: syrustiles@xtra.co.nz

SYRUS  
TILING

Syrus Tiles, P.O. Box 20364,  
Bishopdale  
Christchurch

### Produce Statement

Installers Name: Scott Rogers

Installers # : 461

Product Used : Superflex 1

Site Address : Lot 146 Kippenberger

Consent # : BC141564

Builders Name ; Horncastle Homes

Job # : J4146

Date Installed : 27/01/2015

Substrate : Aqua Gib over timber, Hardies Board over timber

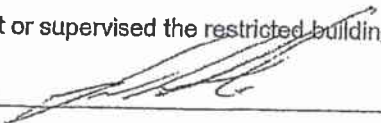
Comments : Waterproofing was taken to a height of 280mm above bath and on to  
shelve at end of bath also waterproofed to 140mm behind vanities.

Regards Scott Rogers





<b>ISSUED BY:</b>	
Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work	
Name: Kevin Crawford	LBP number: BP107181
Class(es) licensed in: Roofing R3	
Plumbers, Gasfitters and Drainlayers Board registration number (if applicable):	
Mailing address (if different from below):	
Street address / Registered office: 10 Cathcart Crescent, Prebbleton, Christchurch	
Phone number: Landline: 349 3029	Mobile: 027 2417 601
Daytime:	After hours:
Fax:	
Email address: k.crawford@xtra.co.nz	Website:

<b>DECLARATION</b>
<p>I, <u>Kevin Crawford</u></p> <p>carried out or supervised the restricted building work recorded on this form.</p> <p>Signature: </p> <p>Date: <u>4/2/15</u></p>

# RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

## PRIMARY STRUCTURE

Work that is restricted building work	Description	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Foundations and subfloor framing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Walls <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised



## EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Damp proofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	Installation of Long Run Roof	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Ventilation system (for example, <input type="checkbox"/> subfloor or cavity)		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

**Note:** continue on another page if necessary.

## Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another page and attach the additional sheet(s) to this form.

THE BUILDING	
Street address of building:  Lot 146 Kippenberg Est.	
Suburb: Rangiora	
Town / City: Canterbury	Postcode:

THE PROJECT
Building consent number: BC141564

THE OWNER(S)	
Name(s): Horncastle Homes Ltd	
Mailing address: PO Box 8255	
Suburb: Riccarton	PO Box / Private Bag: 8255
Town / City: Christchurch	Postcode: 8440
Phone number: 03 348 8905	Email address: office@horncastle.co.nz

## PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

<b>ISSUED BY:</b>	The Engineering Company Ltd <small>(Design Firm)</small>
<b>TO BE SUPPLIED TO:</b>	Waimakariri District Council <small>(Building Consent Authority)</small>
<b>IN RESPECT OF:</b>	New Dwelling <small>(Description of Building Work)</small>
<b>AT:</b>	Lot 146, Stage 5 Kippenberger Subdivision, Rangiora <small>(Address)</small>
<b>LOT</b> 146	<b>DP</b> <b>SO</b>

We have been engaged by Horncastle Homes Ltd to provide the:

### Construction Observation services for Ribraft Slab

in respect of the requirements of **Clause(s) B1** of the approved Compliance Documents issued by Department of Building & Housing for the work described on **ENGCO** drawings titled:

### **HORNCASTLE HOMES LTD., LOT 146 KIPPENBERGER ESTATE, RANGIORA** and numbered **14040.11/S1 – S6 (24.03.2014)**

No authorised variations have been issued during the course of the works.

I have sighted Building Consent No. **141564** and the attached conditions of consent.

I or personnel under my control have carried out periodic reviews of the work appropriate to the engagement and based upon these reviews and information supplied by the contractor during the course of the works, I **believe on reasonable grounds** the building has been built in accordance with the drawings, specifications, and other documents provided for consent.

I, M. Q. Cusiel, am a Chartered Professional Engineer, CPEng#161509, and am a Member of IPENZ.

The Engineering Company Ltd holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.

Signed by M. Q. Cusiel, BE(hons), MIPENZ, CPEng, IntPE  
on behalf of The Engineering Company Ltd, 8/1025 Ferry Rd, Ferrymead, Christchurch



(signature)

Date: 9 October 2014

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*

# Producer Statement

## Postline-Prestop

### PS3 Construction

Issued by: Lance Ash Interiors

To: The Waimakariri District Council

In respect of the following:

Installation of the GIB® bracing as shown on the approved plans and in accordance with the GIB® Bracing Manual.

Installed at: Lot 146 Kipperberger Rangiora

Building Consent No: BC 141564

As the contractor responsible for the above work I certify that I, or personnel under my control have installed the Gib bracing as per the approved plans and I believe on reasonable grounds that the installation complies with the requirements of the New Zealand Building Code and the relevant version of NZS 3604.

The Contractor acknowledges that they are responsible to The Waimakariri District Council for the information contained in this Producer Statement. The Contractor agrees to indemnify the Council against all liability suffered or incurred by the Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

Signed: 

Date: 5/12/14



# Site Inspection Report



Project: Lot 146 Kippenberger

Job No: 14040.11

Description of Work: Pre Pour Inspection

Kippenberger Estate, Rangiora

Detail / Drwg Ref: Engco 14040.11

SI-SG 24/03/14

	Check	Comment
Ground Condition	✓	
Formwork	✓	All ground beams to drawing
Dimension	✓	300 Pod, 400 overall
Reinforcing	✓	All 2s in place & correctly lapped & returned
Mesh	✓	SE6 2, 250 lap length
Starters	N/A	
Cover	✓	50 bottom & sides
Cleanliness	✓	No large form pieces in pour
Clean-out Ports		
Framing		
Bracing		
Bolting		
Drains	✓	Through pods as much as possible
Re Entry	✓	Bars in place

## General Comments:

- Engco not responsible for overall slab dimensions or fibre position on site
- OK to pour - Fibre Mix concrete as specified previously

☒ Proceed with work

☐ Rectify & Proceed

☐ Rectify & Re-inspect

Consultant Representative: Conor Gleeson

Date: 9/10/14

**ISSUED BY**

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Wayne Brett Jury**

LBP number: **117369**

Class(es) licensed in:

**Carpentry**

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office:

Suburb:

Town/City:

PO Box/Private Bag **69252, Lincoln**

Postcode: **7640**

Phone number: **021 843 382**

Mobile: **021 843 382**

After hours:

Fax:

Email address:

Website:

**DECLARATION**

**Wayne Brett Jury** carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: **16.02.15**



EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

# RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

## PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input checked="" type="checkbox"/>	Completion of concrete pod floor excluding earthworks and pegging	<input checked="" type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Walls <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

# Memorandum from licensed building practitioner: Record of building work

## Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: <b>LOT 146, KIPPENBERGER</b>	
Suburb:	
Town/City: <b>CHRISTCHURCH</b>	Postcode:

THE PROJECT
Building consent number: <b>141564</b>

THE OWNER(S)	
Name(s): <b>Horncastle Homes Ltd</b>	
Mailing address:	
Suburb: <b>Riccarton</b>	PO Box/Private Bag: <b>8255</b>
Town/City: <b>Christchurch</b>	Postcode: <b>8440</b>
Phone number: <b>03 348 8905</b>	Email address: <b>office@horncastle.co.nz</b>



Reference/Certificate ID No: 23115 Dan

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

## Location Details:

Lot 146 Kippenberger, Rangiora

Contact Details:  
(Name and address)Hercastle Homes  
PO Box 8255 03 3485905Name of  
Electrical worker:

Tim Field

Registration/Practising  
licence number:

E16580

## Organisation/company:

Wiveteck Ltd

## Phone and email:

0772357358

Name of person(s)  
supervised:

## CoC

## Type of work:

☐ Additions☐ Alterations☒ New work

## The prescribed electrical work is:

☐ Low risk☐ General☒ High risk (Specify):

## Reference Standards:

☐ Part 1 of AS/NZS 3000☒ Part 2 of AS/NZS 3000☐ Additional Standards:

## Description of Work: (including date/s of work and type of supply system)

New house done to plan. Wired heat pump  
feed only. Lighter - 32 services.  
Plugs - 27

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

## Select those that apply:

- ☐ Has been installed in accordance with the specified certified design<sup>1</sup>
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☒ Relies on a supplier Declaration of Conformity<sup>1</sup> See Telfer Electrical
- ☒ Relies on a manufacturer's instructions<sup>1</sup>
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

## Electronic/Other reference:

## Certifier's signature:

## Test Results

Polarity (Independent earth):	
Insulation resistance:	2200 MΩ
Earth Continuity:	0.11 Ω
Bonding:	—
Fault Loop impedance:	
Other (specify):	

## Date:

23-1-15

<sup>1</sup> Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

## ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's  
name:Registration/Practising  
licence number:Certifier's  
signature:Certificate  
Issue Date:

23-1-15

Connection  
Date:

**ISSUED BY**

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Craig Casack

LBP number: BP126153

Class(es) licensed in: Brick & Blocklaying

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below): 10 Henningway Place

Street address/Registered office:

Suburb: Spencerville

Town/City: CHCH

PO Box/Private Bag

Postcode: 8083

Phone number: 03-3298323

Mobile: 0272708724

After hours: " "

Fax: 35

Email address: Craig.Casack@xtrem.co.nz

Website: N/A

**DECLARATION**

I, Craig Casack carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: 2/02/2015

# EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>		<input checked="" type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised



## RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

### PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

# Memorandum from licensed building practitioner: Record of building work

## Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

### THE BUILDING

Street address: Lot 146 Kippenberger

Suburb:

Town/City: Rangiora

Postcode:

### THE PROJECT

Building consent number: BC141564

### THE OWNER(S)

Name(s): Horncastle Homes Ltd

Mailing address:

Suburb: Riccarton

PO Box/Private Bag: Po Box 8255

Town/City: Christchurch

Postcode: 8440

Phone number: 03 348 8905

Email address: office@horncastle.co.nz

**ISSUED BY**

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: <i>Craig Drummond</i>	LBP number: BP101408
Class(es) licensed in: <i>CARPENTRY</i>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office:	
Suburb:	Town/City:
PO Box/Private Bag	Postcode:
Phone number:	Mobile:
After hours:	Fax:
Email address:	Website:

**DECLARATION**

I *Craig Drummond* carried out or supervised the restricted building work recorded on this form.

Signature:

Date:

*9-2-15*

# EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	LINEAR WEATHER BOARDS ON CAVITY ONLY	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

# RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

## PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input checked="" type="checkbox"/>	STOOD & PLUMBED PRE-NAILED FRAMES	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input checked="" type="checkbox"/>	STOOD TRUSS AS PER PLAN'S / SPECIFICATION.	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input checked="" type="checkbox"/>	AS PER PLAN	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

# Memorandum from licensed building practitioner: Record of building work

## Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

### THE BUILDING

Street address: Lot 146 Kippenberger

Suburb:

Town/City: Rangiora

Postcode:

### THE PROJECT

Building consent number: BC141564

### THE OWNER(S)

Name(s): Horncastle Homes

Mailing address:

Suburb: Riccarton

PO Box/Private Bag: PO Box 8905

Town/City: Christchurch

Postcode: 8440

Phone number: 03-3488905

Email address: office@horncastle.co.nz



## APPLICATION INFORMATION

A Code Compliance Certificate will be issued within 20 working days from application, provided all the information required has been supplied. The Code Compliance Certificate will be based on the approved building consent documents, so any variations to the original approved plans are required to be documented and approved prior to the work being carried out. All inspections listed in the Building Consent documentation must have been carried out to the Building Consent Authorities satisfaction including a final inspection.

In the event that no application for Code Compliance is made within **2 years** after the granting of the Building Consent, the Building Consent Authority is obliged to issue a "Notice to Fix" for any outstanding work.

### Notice to Fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection should be booked by phoning

**Prime Building Compliance on (03) 311 8240 or 0800 724 2378**

### Fees

Please note: All work for the issue of a Code Compliance Certificate and Compliance Schedule will be invoiced and must be paid in full before the Code Compliance Certificate will be issued.

## NOTES BY APPLICANT

*Other notes or comments which you as the applicant may wish to add, eg Resource Consents*

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*All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council that can be readily retrieved. You can also request that the Council correct any personal information it holds about you.*

## APPLICANT'S SIGNATURE

Signed by or for and on behalf of the Applicant



Owner



or Agent

Date: 10/07/2014

Note: if acting "for and on behalf", please read the following declaration before signing:- "I hereby declare that I am authorised to act as Agent of the Applicant"

## SPECIFIED SYSTEMS

32. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent: List Specified Systems – use additional pages if required:

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## ATTACHMENTS

33. The following documents are attached to this application:

- ☒ Certificates from the people who carried out the work.
- You are required to supply certificates from ALL the trades involved in your project. Such certificates should include the following information:
- ⇒ Name, address, and contact phone numbers
  - ⇒ Registration number (where applicable)
  - ⇒ Building consent number
  - ⇒ Project site address, and scope of work
  - ⇒ Name of the tradesperson who carried out the work
  - ⇒ A statement confirming which NZ Building Code Clauses that the work complies with and compliance with the Approved Building Consent Documents including any variations.
  - ⇒ The Certificate must be signed and dated by the tradesperson responsible for the work
- ☒ Certificates that relate to the energy work (Electrical and Gasfitter).
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent (Installers certification).

## PEOPLE INVOLVED IN THIS PROJECT

30. All building work to be carried out under the this Building Consent was completed on: 16/02/2015

31. The Licensed Building Practitioners who carried out the building work are as follows:

<b>BUILDER</b>			
Name:	Craig Drummond	Reg. N°:	BP101408
Address:			
Phone N°:	027 527 2443	Fax N°:	Email: cdbuildersltd@xtra.co.nz
<b>DESIGNER(S)</b>			
Name:	N/A	Reg. N°:	
Address:			
Phone N°:		Fax N°:	Email:
<b>REGISTERED DRAINLAYER</b>			
Name:	SJO Ltd	Reg. N°:	24711
Address:	PO Box 139, Paraparaumu		
Phone N°:	027 352 9247	Fax N°:	Email: jordan_t23@hotmail.com
<b>CRAFTSMAN PLUMBER</b>			
Name:	Marcus Van Klink	Reg. N°:	13849
Address:	Unit 6/29 Acheron Drive		
Phone N°:	03 327 0794	Fax N°:	Email: marcus@universalplumbing.co.nz
<b>CRAFTSMAN GASFITTER</b>			
Name:	N/A	Reg. N°:	16469
Address:			
Phone N°:		Fax N°:	Email:
<b>REGISTERED ELECTRICIAN</b>			
Name:	Tim Field	Reg. N°:	168801
Address:	4 Quarters Place Halswell		
Phone N°:	027 235 7358	Fax N°:	03 322 5283
			Email: wiretech@snap.co.nz
<b>STRUCTURAL ENGINEER</b>			
Name:	Matt Cusiel ENGCO	Reg. N°:	161509
Address:	8/1025 Ferry Road Woolston 8023		
Phone N°:		Fax N°:	Email: matt.cusiel@engco.co.nz
<b>OTHER CONTRACTOR – TYPE:</b> <u>Roofer</u>			
Name:	Kevin Crawford	Reg. N°:	BP107181
Address:	10 Cathcart crescent		
Phone N°:	349 3029	Fax N°:	Email: k.crawford@xtra.co.nz

Please photocopy and attach additional pages as required to provide a complete list of ALL sub-trades involved in the project

141564



**WAIMAKARIRI**  
DISTRICT COUNCIL

# CODE COMPLIANCE CERTIFICATE APPLICATION

SECTION 92  
BUILDING ACT 2004

BC141564

Private Bag 1005, Rangiora 8254 | Ph (03) 313 6136, (03) 327 6834 | Fax (03) 313 4432 | [www.waimakariri.govt.nz](http://www.waimakariri.govt.nz)

## THE BUILDING

(refer to your Rates Account for details)

1. Site Address: \_\_\_\_\_

Lot 146 Kippenberger

(Street / Road / Township)

Rapid Number: \_\_\_\_\_

(Applies to Rural Properties Only)

2. Legal description:

LOT: \_\_\_\_\_ DP/RS: \_\_\_\_\_

Valuation Roll Number: \_\_\_\_\_

**Note: Only complete items here that are applicable to your project.**

3. Building Name: \_\_\_\_\_

(eg: where buildings have Official Names)

4. Location of Building within Site: \_\_\_\_\_

(Only applicable to multi-development sites)

5. Number of Levels: \_\_\_\_\_ 6. Level/Unit No: \_\_\_\_\_

7. Floor Area – Existing: \_\_\_\_\_ New: \_\_\_\_\_ Total: \_\_\_\_\_

8. Current Lawfully Established Use: (eg: Use on any previous consent for the existing building) \_\_\_\_\_

9. Year Building First Constructed: \_\_\_\_\_

(Only applicable to existing buildings, approx. date is acceptable, e.g. 1920s or 1960-1970)

## THE APPLICANT / OWNER

10. Owner's Name: Horncastle Homes Ltd

(Company or organisational name)

11. Contact Person: Devon Watson

(If Owner is not an Individual)

12. Mailing Address: PO Box 8255, Riccarton Chch

13. Street Address / Registered Office: 38 Lowe St  
Addington, 8011

14. Phone Numbers: Mobile: \_\_\_\_\_  
Daytime: 03 348 8905 After Hours: \_\_\_\_\_

15. Fax: 03 348 8906

16. Email: devon@horncastle.co.nz

17. Website: www.horncastle.co.nz

18. The following evidence of ownership is attached to this application, eg:

☐ Certificate of Title and / or

☐ Sale and Purchase Agreement

## AGENT / CONTACT

Contact Details **MUST** be in New Zealand)

19. Name of Agent: \_\_\_\_\_

20. Contact Person: \_\_\_\_\_

21. Mailing/Billing Address: \_\_\_\_\_

22. Street Address / Registered Office: \_\_\_\_\_

23. Phone Numbers: Mobile: \_\_\_\_\_  
Daytime: \_\_\_\_\_ After Hours: \_\_\_\_\_

24. Fax: \_\_\_\_\_

25. Email: \_\_\_\_\_

26. Website: \_\_\_\_\_

27. ☐ Authorisation from Agent Attached.

(Authorisation from the owner confirming authority)

28. Note: The "Agent/Contact" will be the first point of contact for communications with the Council / Building Consent Authority regarding this Application / Building Work and will receive all correspondence including all invoices.

## APPLICATION

For Office Use Only

29. I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004.

The Code Compliance Certificate should be sent to:

devon@horncastle.co.nz

(Unless advised otherwise the Code Compliance Certificate will be sent to the Agent/Applicant)

# Producer Statement

## General Building Work

### Construction Review

Issued by: RANGIORA PLUMBING LTD

To: WAIMAKARIRI DISTRICT COUNCIL

In respect of the following: **Waste pipes in slab**

Correct fall has been achieved for both kitchen and laundry waste pipes and have been completed in strict accordance with the approved plans, and product specification and any specific design approved by Waimakariri District Council.

Installed at: **41 Koura Drive, Rangiora**

Building Consent No: **BC141564**

As the contractor responsible for the above work I certify that I, or personnel under my control have carried out the above work and I believe on reasonable grounds that all work complies with the performance requirements of the New Zealand Building Code, and any specific design approved by Waimakariri District Council.

The contractor acknowledges that it is responsible to The Waimakariri District Council for the information contained in this Producer Statement. The Contractor agrees to indemnify the Council against all liability suffered or incurred by Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

LBP Class & Licence Number: 14344

Signed: 

PS3 General Building Work

Date: 2/3/15

## Greer Smith

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**From:** Jennifer O'Neill <jennifer@horncastle.co.nz>  
**Sent:** Monday, 17 August 2015 10:19 a.m.  
**To:** Greer Smith  
**Subject:** RE: BC141564 41 Koura Drive  
**Attachments:** plumber PS3.pdf

Hi Greer,

See attached.

Kind Regards

Jennifer O'Neill  
Project Co-Ordinator

Phone. +64 3 348 8905

Horncastle Homes  
PO Box 8255, Riccarton  
Christchurch 8440, New Zealand  
[www.horncastle.co.nz](http://www.horncastle.co.nz)

**Horncastle**   
*We call Canterbury home*

Proud to be Naming Partner  
for [Horncastle Arena](#)

NOTE: This message is confidential and may be legally privileged. If you are not the intended recipient please notify us immediately by return email and then destroy this email. Thank you.

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**From:** Greer Smith [mailto:greer.smith@wmk.govt.nz]  
**Sent:** Friday, 14 August 2015 4:16 p.m.  
**To:** Jennifer O'Neill  
**Subject:** RE: BC141564 41 Koura Drive

Hi Jennifer,

How about this time?

Greer

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**From:** Jennifer O'Neill [mailto:jennifer@horncastle.co.nz]  
**Sent:** Friday, 14 August 2015 3:46 p.m.  
**To:** Greer Smith  
**Subject:** RE: BC141564 41 Koura Drive

Hi Greer,

I'm not sure what's wrong but nothing is attached to the email.



# Producer Statement

## General Building Work

### Construction Review

Issued by: \_\_\_\_\_

To: **WAIMAKARIRI DISTRICT COUNCIL**

In respect of the following:      **Waste pipes in slab**

Correct fall has been achieved for both kitchen and laundry waste pipes and have been completed in strict accordance with the approved plans, and product specification and any specific design approved by Waimakariri District Council.

Installed at: **41 Koura Drive, Rangiora**

Building Consent No:      **BC141564**

As the contractor responsible for the above work I certify that I, or personnel under my control have carried out the above work and I believe on reasonable grounds that all work complies with the performance requirements of the New Zealand Building Code, and any specific design approved by Waimakariri District Council.

The contractor acknowledges that it is responsible to The Waimakariri District Council for the information contained in this Producer Statement. The Contractor agrees to indemnify the Council against all liability suffered or incurred by Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

LBP Class & Licence Number: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

*PS3 General Building Work*



## File sign off for issue of a CCC

Commercial	
Access & Facilities	
FPS PS4**	
FPIS Certificate**	
HVACPS4**	
Compliance Schedule application**	
Surveyors cert.**	

- **Read File – PIM Conditions.**

Check above with site notes and working file.

- **Check all site notices, rearrange file with notes in date sequence.**

Site File to be arranged in

- RH Side – Inspection notes in date order, stapled twice along top
- LH side – Drainage plan, PS4's, Energy Certificates etc
- Put all remaining documentation in date sequence, including plans and specs, bind and place in working file.

- **Follow up all failed inspection items thoroughly, sign and date decision and briefly describe outcome.**

Use space on back of sheet to write up any back ground notes ie: where a follow through of a site inspection requirement is not 100% clear from another reinspection but has been conveyed in other inspections. Also note any discussion with field officer/other staff to show how acceptance was achieved.

Inspection notices correctly completed and signed off Yes

No missed 4

Outstanding Items Yes No

OK for CCC

Yes

No

(signed)

Melissa

Date

18/2/15



WAIMAKARIRI  
DISTRICT COUNCIL

# File sign off for issue of a CCC

Job Number 141564 Final By Andrew / Wes Auditor Mike

Project Description New Dwelling + Att Garage

Items highlighted (\*\*) are to be sent to the council.

Legend: ✓ Pass — N.A. ✗ Required

Audit items	
Form 6, signed and dated**	✗
Final landscaping photos**	✓
Heating check sheet**	—
Drainage Plan** <u>J. Tahu</u>	✓
Exterior Plaster PS3**	—
Gas Certificate**	—
Electrical Certificate**	✗
Drain layers Reg No: <u>24711</u>	✓
Plumbers Reg No:	✗
Plumber pressure Test PS4** Consents from 1.11.07	✗
Tanking PS3**	✗
Cladding type/s as per plans	✓
Drain layers Eff. PS3**	—
W.D.C effluent approval & Fenced	—
Well water test**	—
Engineers site notes**	✗
Engineers PS4**	✗
Membrane warranty**	—
Membrane Roof Pitch	—
Membrane installers PS4**	—
Construction Statements** <u>LBP certs</u>	✗
Inspection Notices**	✓
Consent fees owed	
CCC**	Inspection Notices**

## Jobs on HOLD outstanding items (list)

- ✓ 1. Form 6 Recd 16/02/15
- ✓ 2. Electrical cert.
- ✓ 3. Plumbers pressure test
- ✓ 4. Tanking cert.
- ✓ 5. Engineers site notes & PS4
- ✓ 6. LBP certs - ✓ Found
  - ✓ carpentry
  - ✓ clad
  - ✓ roof
7. Plumber to provide PS3 for waisters in slab
- ✓ 8. GIB fixer to supply PS3 for brace demands
- BL Cert /

Money??

23 February 2015

Horncastle Homes,  
PO Box 8255  
Riccarton  
Christchurch 8440

RE: Building Consent Application No. BC141564  
New or Relocated Dwelling  
41 Koura Drive RANGIORA  
2165902312

Dear Horncastle Homes,

We completed a final inspection of the above building project and have audited the working file.

During this audit or as part of the site inspection we have found that we require the following information to be provided or remedial work to be completed prior to the issue of the Code Compliance Certificate. The outstanding items are listed below.

- ✓ Please have the plumber complete and return the attached Producer Statement for the waste pipes in the slab.

The Code Compliance Certificate cannot be issued until all of these items have been addressed to our satisfaction. Your assistance in having this attended to in a timely manner would be greatly appreciated.

You should also note that any additional inspections will have to be paid for prior to the release of the CCC.

In the interim if you have any queries please contact me.

Yours Sincerely



Sarah Smith  
Code Compliance Administrator





# AS BUILT LAYOUT

Christchurch Manufacturing  
19-21 Broughs Road, Christchurch  
03 359 2731

JOB No **CD100499**  
Client: **HORNCastle HOMES**  
Job Name: **J4146 - Turnkey**  
Address: **Lot 146, Kippenberger**

Pitch: 26.0deg  
Roof Material: Galv Iron .5mm  
Soffit Overhang: 600mm  
Wind Area: High  
Snow Load(factored): 0.428kPa

Trusses and rafters at 900 mm max centres unless stated otherwise.  
This layout is to be read in conjunction with the Architectural plans.

DRAWN BY Brent Yellowlees  
DATE 10 Oct,2014 PAGE 1 of 4

**FIXINGS**

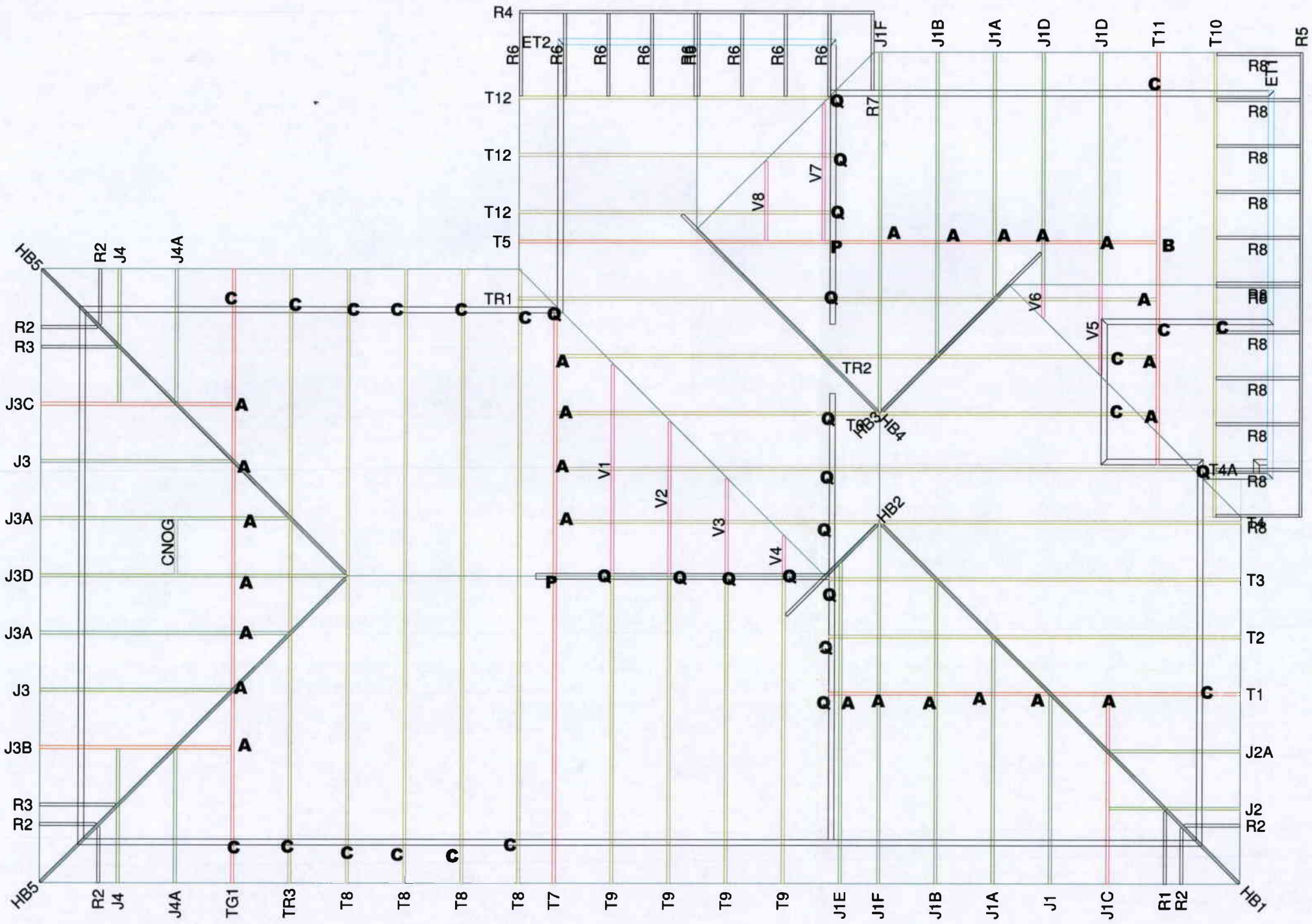
**A= 47x90 JH**  
**B= 47x120 JH**  
**D= 47x190 JH**  
**E= 95x165 JH**

**C= CT200 (pair)**  
**M= Multigrips (pair)**  
**N= Nailon Plate**  
**Q= 9kN Pack**  
**P= 16kN Pack**

All other truss fixings must have two wire dogs unless indicated as above

**NOTE**  
Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.





# AS BUILT LAYOUT

Refer to the Details Page  
for the lintel and stud to top  
plate fixing guide

**CARTERS**  
Your Building Partner

Christchurch Manufacturing  
19-21 Broughs Road, Christchurch  
03 359 2731

JOB No **CD100499**

Client: HORNCastle HOMES  
Job Name: J4146 - Turnkey  
Address: Lot 146, Kippenberger

This layout is to be read in conjunction  
with the Architectural plans.

DRAWN BY Brent Yellowlees

DATE 10 Oct,2014 PAGE 4 of 4

These lintels have been sized using  
one of the following :

The GANGLAM 04/2008 and  
FLITCH BEAM 12/2007  
selection manuals from MiTek NZ Ltd.

hy90 and hyONE lintels have been sized  
using designIT v5 NZ software  
(Incl. sub versions) or selection manuals,  
hy90 Edition 1, and hyONE April 2008,  
as provided by CHH Woodproducts.

Unless otherwise stated the timber grade  
for all lintels is MSG8. Lintels not shown  
are to be selected as per NZS3604: 2011.

All walls shown on this layout are  
considered to be load bearing.

## Lintel Fixings

Type E - 1.4 kN

Type F - 4.0 kN

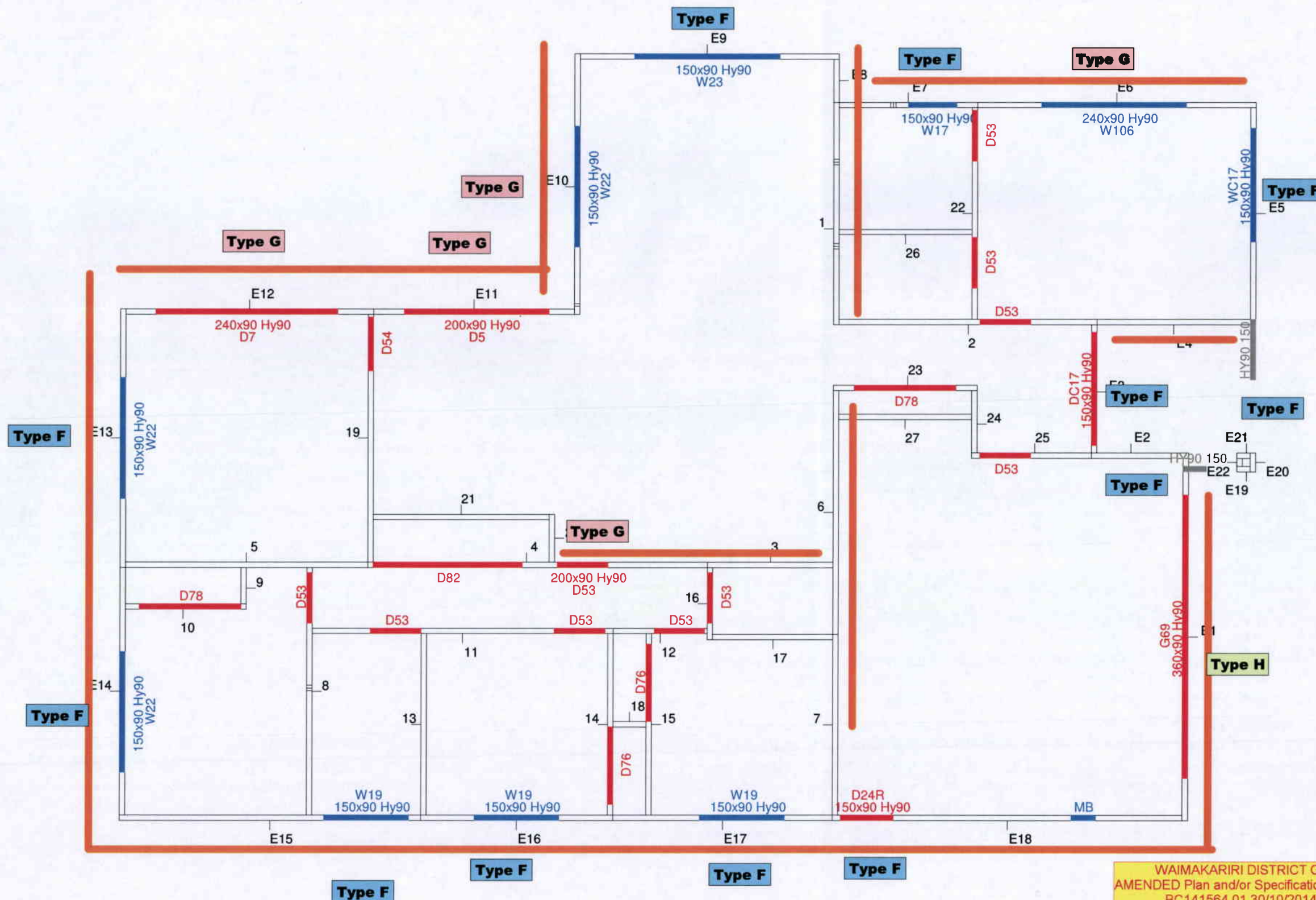
Type G - 7.5 kN

Type H - 13.5 kN

## Stud to Top Plate Fixings

Fixing Type B

## Level 1 Fixings



If Barrier Ply is used and nailed in accordance with the Ecoply Barrier System Fact Sheet  
it replaces the need for the Stud to Top Plate Fixings Type B

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker



### Stud to Top Plate Fixings

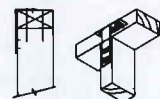
All Fixings are Type A  
(2x90mm x 3.15 dia. plain  
steel wire nails driven vertically  
into stud) unless shown as  
Fixing Type B

#### Fixing Type B

2 x 90mm x 3.15 dia. plain steel wire  
nails driven vertically into stud.

AND

Plus LUMBERLOK  
Stud Strap  
(One face only)



To apply the correct number of B type  
fixings, divide the wall length by the stud  
centres and add 1 to this figure. Attach  
this number of fixings to the studs as  
evenly as possible along the wall length  
(include first and last stud).

Stud Strap Only when  
Top Jack is under  
75mm

#### Top Jack Option A (Under 75mm)

400mm Sheet Brace Strap  
with 6 x 30x3.15 nails  
each end

#### Top Jack Option B (75 - 200mm)

Stud Strap

#### Top Jack Option C (200mm and Over)

### Lintel Fixings

#### Type E - 1.4 kN

4 x 90mm x 3.15 dia. nails

2 x 90mm x 3.15 dia. nails  
directly below lintel

Lintel

90mm x 3.15 dia. nails  
Trimmer to understud  
at 250mm crs.

Tylok 2T4 one side

For fixing of jack studs  
to lintel & top plate,  
refer to "Stud to Top  
Plate Fixing Detail"

Stud numbers  
indicative only.  
Refer Table 8.5  
NZS 3604:2011

#### Type F - 4.0 kN

6 x 90mm x 3.15 dia. nails

4T5 one side

2 x 90mm x 3.15 dia. nails  
directly below lintel

Lintel

90mm x 3.15 dia. nails  
Trimmer to understud  
at 250mm crs.

2 x Tylok 2T4 for Radiata Pine  
2 x Strap Nail for Douglas Fir

For fixing of jack studs  
to lintel & top plate,  
refer to "Stud to Top  
Plate Fixing Detail"

Stud numbers  
indicative only.  
Refer Table 8.5  
NZS 3604:2011

#### Type G - 7.5 kN

6 x 90mm x 3.15 dia. nails  
400mm Sheet Brace  
Strap to one side  
2 x 90mm x 3.15 dia. nails  
directly below lintel (typical)

Lintel

6 x 30mm x 3.15 dia. nails  
each end

90mm x 3.15 dia. nails at 250 crs.  
trimmer to understud (typical)

For fixing of jack studs  
to lintel & top plate,  
refer to "Stud to Top  
Plate Fixing Detail"

Stud numbers  
indicative only.  
Refer Table 8.5  
NZS 3604:2011

2 x 200mm Sheet  
Brace Strap to one  
side 3 x 30mm x  
3.15 dia. nails to  
each stud

OR

400mm Sheet Brace  
Strap to one side  
6 x 30mm x 3.15 dia. nails to stud  
3 x 30mm x 3.15 dia. nails to  
bottom plate

6 x 30mm x 3.15 dia. nails to timber  
joist/bearer

M12 proprietary concrete fixing bolt with 50x50x3mm square washer or  
M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer.

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker

#### Type H - 13.5 kN

8 x 90mm x 3.15 dia. nails

400mm Sheet Brace  
Strap to both sides

Lintel

6 x 30mm x 3.15 dia. nails  
each end of each strap

90mm x 3.15 dia. nails at 250 crs.  
trimmer to understud (typical)

For fixing of jack studs  
to lintel & top plate,  
refer to "Stud to Top  
Plate Fixing Detail"

Stud numbers  
indicative only.  
Refer Table 8.5  
NZS 3604:2011

90mm x 3.15 dia. nails @  
250mm crs. both sides  
(typical)

6 x 30mm x 3.15 dia. nails  
to each side of stud

3 x 30mm x 3.15 dia. nails  
to each side of bottom plate

400mm Sheet Brace  
Strap wrap around bottom  
plate and up the other side

OR

2 x 400mm Sheet Brace  
Strap to one side  
6 x 30mm x 3.15 dia. nails  
each end to stud  
3 x 30mm x 3.15 dia. nails  
to bottom plate  
6 x 30mm x 3.15 dia. nails  
each end to timber  
joist/bearer

M12 proprietary concrete fixing bolt with 50x50x3mm square washer or  
M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer.

NOTE: These fixings are suggested fixings only. Alternative fixings may be used provided the indicated hold-down is achieved. For alternative fixings, refer to the "MITek Structural Fixings On-Site Guide 2012 Edition" or "NZStandards3604-2011".



**NOTIFICATION OF POINT LOADED LINTELS AND POINT LOADS ON INTERNAL OR EXTERNAL WALLS WHERE THE DOWNLOAD IS HIGHER THAN 10kN.**  
 Note: If no point loads indicated, loading does not exceed 10kN.

# AS BUILT LAYOUT

**CARTERS**  
 Your Building Partner

Christchurch Manufacturing  
 19-21 Broughs Road, Christchurch  
 03 359 2731

JOB No **CD100499**

Client: HORNCastle HOMES  
 Job Name: J4146 - Turnkey  
 Address: Lot 146, Kippenberger

Pitch: 26.0deg  
 Roof Material: Galv Iron .5mm  
 Soffit Overhang: 600mm  
 Wind Area: High  
 Snow Load(factored): 0.428kPa

Trusses and rafters at 900 mm max centres unless stated otherwise.

This layout is to be read in conjunction with the Architectural plans.

DRAWN BY Brent Yellowlees

DATE 10 Oct,2014 PAGE 2 of 4

## NOTE

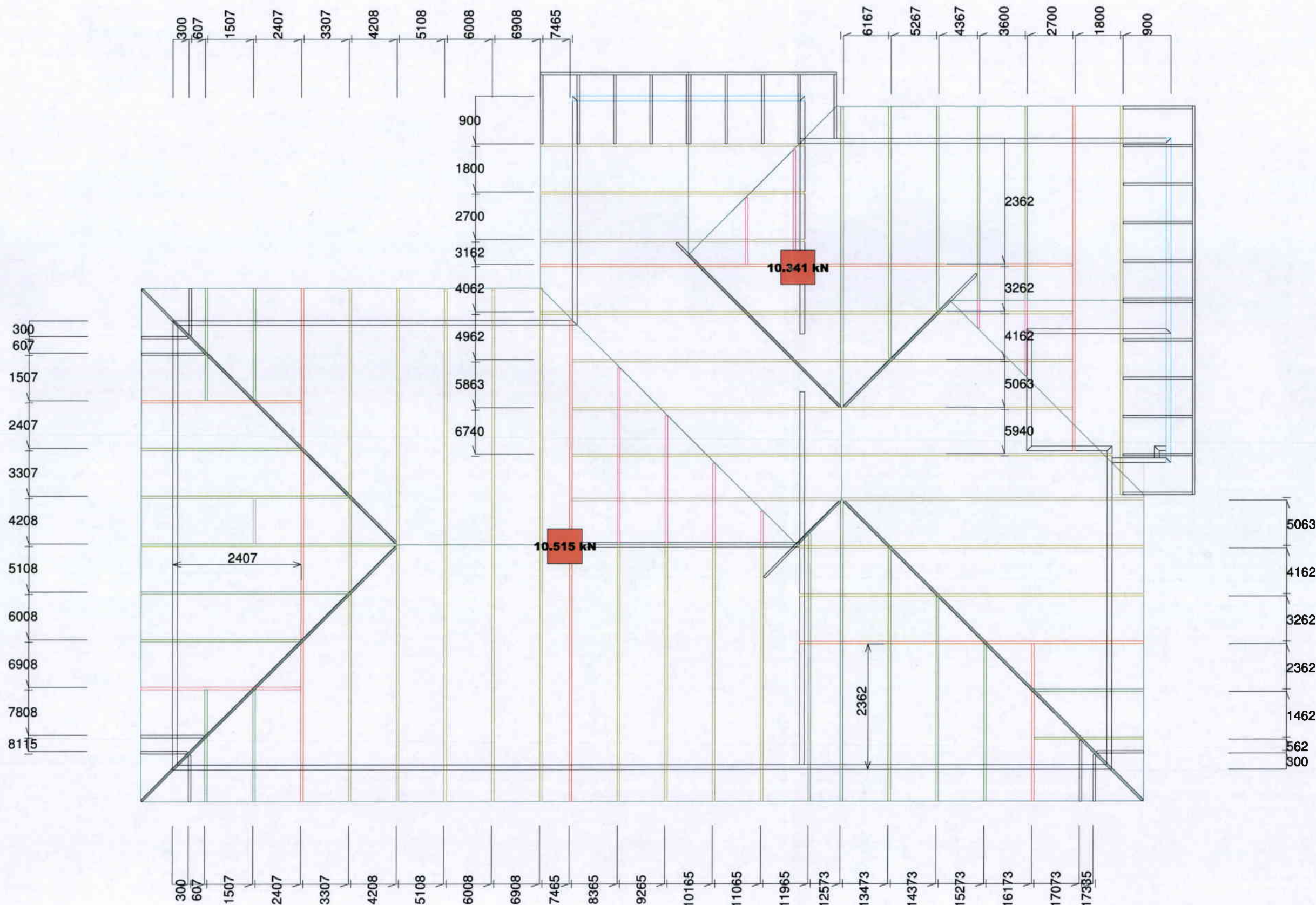
Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.

## Truss Dimensions



WAIMAKARIRI DISTRICT COUNCIL  
 AMENDED Plan and/or Specifications APPROVED  
 BC141564.01 30/10/2014 miker



## AS BUILT LAYOUT

**CARTERS**  
Your **Building** Partner

**Christchurch Manufacturing**  
19-21 Brouchs Road, Christchurch  
03 359 2731

**JOB No CD100499**

Client: HORNCastle HOMES  
Job Name: J4146 - Turnkey  
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DRAWN BY Brent Yellowlees

DATE 10 Oct,2014	PAGE 3 of 4
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These lintels have been sized using one of the following :

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selection manuals from MiTek NZ Ltd.

hy90 and hyONE lintels have been sized using designIT v5 NZ software (Incl. sub versions) or selection manuals, hy90 Edition 1, and hyONE April 2008, as provided by CHH Woodproducts.

Unless otherwise stated the timber grade for all lintels is MSG8. Lintels not shown are to be selected as per NZS3604: 2011.

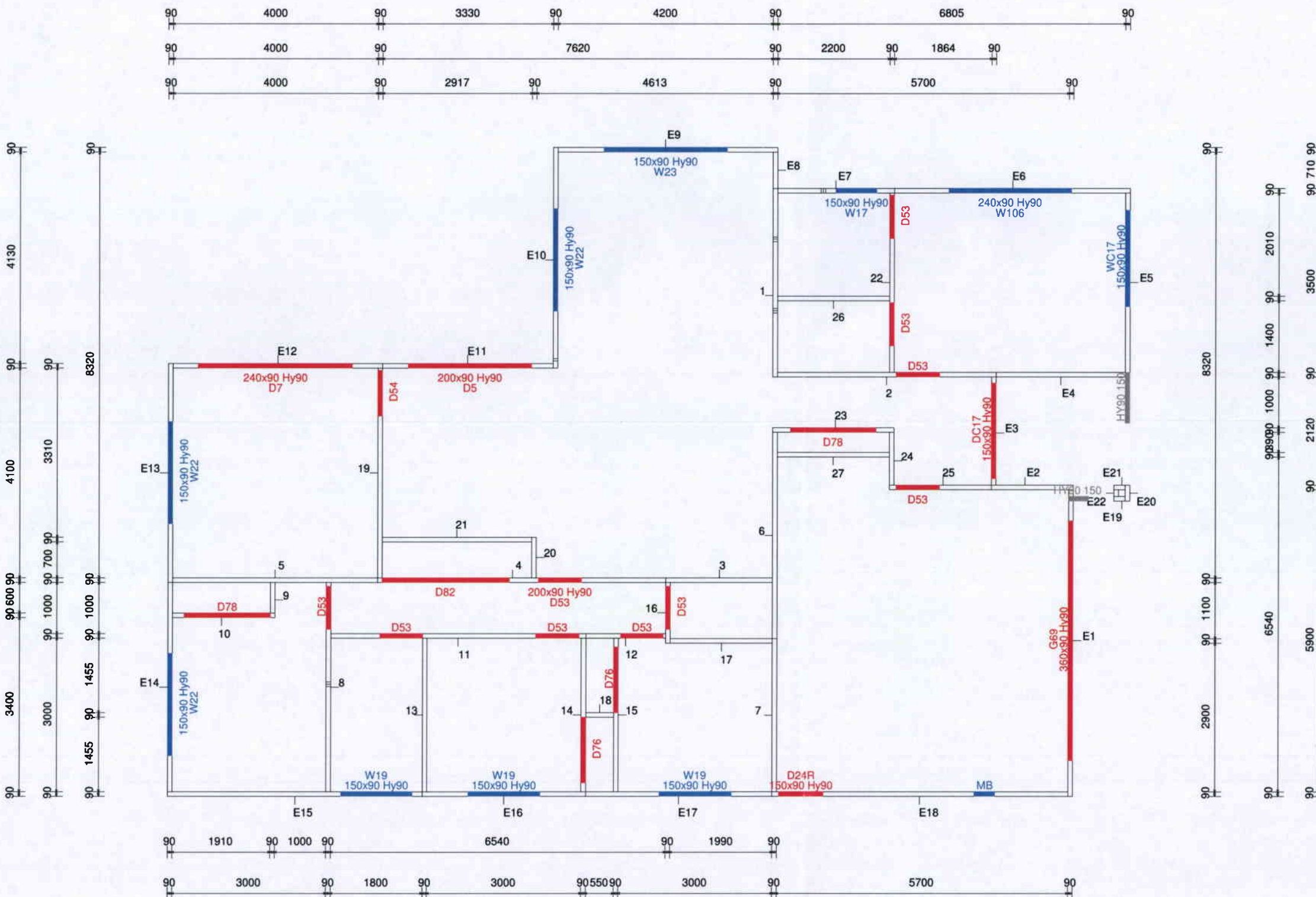
**All walls shown on this layout are considered to be load bearing.**

### NOTE

**Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.**

**No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.**

## Level 1 Frames



WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker





# MiTek New Zealand Limited

Correspondence from : **AUCKLAND**  
40 Neales Road, East Tamaki 2013  
PO Box 58-014, Botany 2163  
**Phone: 09 274 7109**  
**Fax: 09 274 7100**

**CHRISTCHURCH**  
14 Pilkington Way, Wigram 8042  
PO Box 8387, Riccarton 8440  
**Phone: 03 348 8691**  
**Fax: 03 348 0314**

www.mitek.nz.co.nz

MiTek 20/20 Engineering 4.6.6.210

Printed: 10:01:44 13 Oct 2014

## PRODUCER STATEMENT for MiTek 20/20® TRUSS DESIGN - Version 4.6

ISSUED BY: **MiTek New Zealand Limited**  
TO: **Christchurch Manufacturing**  
IN RESPECT OF: **MiTek® Truss Designs**

This producer statement covers the MiTek 20/20® truss design and the structural performance of the GANG-NAIL® connector plate for the job reference **CD100499** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20® truss design program has been developed by MiTek New Zealand Limited for the design of MiTek® timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20® are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

**On behalf of MiTek New Zealand Limited,** and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

**I believe on reasonable grounds** that the trusses, if constructed in accordance with the MiTek 20/20® truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

**On behalf of MiTek New Zealand Limited,**

**Date: Monday, 13 October 2014**

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)  
**TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited**

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker

Job: CD100499

Client: HORNCastle HOMES

Site: J4146 - Turnkey  
Lot 146, KippenbergerDescription:  
Building Consent No.:  
MiTek 20/20 Engineering 4.6.6.210

Phone:

Printed: 10:01:44 13 Oct 2014

**MITEK FABRICATOR DESIGN STATEMENT**

This statement is issued by MiTek accredited fabricator **Christchurch Manufacturing**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

**MiTek 20/20® TRUSS DESIGN DATA**

The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek ® trusses.

**Job Details**

Importance Level : 2

Design Working Life : 50 years

**Roof Truss**

Timber Group: MSG8 DDP H1.2

Pitch: 26.000 deg

Nominal Overhang: 600 mm

**Roof****Celling****Wind**Material: Galv Iron .5mm  
Dead Load: 0.210 kPa  
Restraints: 900 mm centres  
Live Load: Q<sub>ur</sub> = 0.250 kPa  
Q<sub>c</sub> = 1.100 kNMaterial: Standard  
Dead Load: 0.200 kPa  
Restraints: 400 mm centres  
Live Load: Q<sub>c</sub> = 1.400 kNArea: High (44.0 m/s)  
Pressure Coeff: C<sub>pe</sub> = varies; C<sub>pi</sub> = -0.30, 0.20**Snow**Location: at 100 m  
Open Ground Load: 0.900 kPa  
Basic Roof Load: 0.428 kPa

The timber for these MiTek® trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

**MiTek® Truss List**

Legend: \* = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required  
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
V6	1	515	26.000	900	J1A	2	2362	26.000	900	T2	1	5880	26.000	900
V4	1	590	26.000	900	J1B	2	2362	26.000	900	T3	1	5880	26.000	900
*CNOG	40	855	0.000	900	J1C	1	2362	26.000	900	T11	1	5890	26.000	900
*R2	6	891	26.000	900	J1D	2	2362	26.000	900	*ET1	1	6110	26.000	900
*R1	1	1153	26.000	900	J1E	1	2362	26.000	900	T10	1	6110	26.000	900
*R3	2	1198	26.000	900	J1F	2	2362	26.000	900	*HB5	2	6776	19.028	900
*R7	1	1205	0.000	686	V2	1	2390	26.000	900	*R5	1	7310	26.000	900
V8	1	1245	26.000	900	J3	2	2407	26.000	900	*HB1	1	7986	19.028	900
*R6	9	1305	0.000	686	J3A	2	2407	26.000	900	T9	4	4270	26.000	900
*R8	12	1305	0.000	722	J3B	1	2407	26.000	900	T7	1	8460	26.000	900
V5	1	1415	26.000	900	J3C	1	2407	26.000	900	T8	4	8460	26.000	900
J2	1	1462	26.000	900	J3D	1	2407	26.000	900	TG1	1	8460	26.000	900
J2A	1	1462	26.000	900	V1	1	3290	26.000	900	TR3	1	8460	26.000	900
V3	1	1490	26.000	900	*HB3	1	3545	19.028	900	T5	1	9430	-26.000	900 LB
J4	2	1507	26.000	900	*ET2	1	4380	26.000	900	TR1	1	9430	26.000	900
J4A	2	1507	26.000	900	T12	3	4380	26.000	900	T4	1	10170	26.000	900
*HB2	1	2046	19.028	900	*HB4	1	4386	19.028	900	T4A	1	10170	26.000	900
V7	1	2145	26.000	900	*R4	1	5580	26.000	900	T6	1	9430	26.000	900
J1	1	2362	26.000	900	T1	1	5880	26.000	900 LB	TR2	1	9430	26.000	900

Total quantity : 138

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker

The computer design input has been carried out by:

Name of Computer Operator: Standard

Qualifications and Title: Truss Detailer

Signed:

**CARTERS**

A Division of Carter Holt Harvey

Dated: Monday, 13 October 2014



## ***Manufacturing Statement***

This statement, supplied to the Carters customer listed below, has been provided to assist a Building Consent Authority in determining compliance with the NZ Building Code and is issued subject to Carters Standard Terms and Conditions of Sale. (available at [www.carters.co.nz](http://www.carters.co.nz))

**13-October-2014**

**HORNCastle HOMES**

**LOT 146 KIPPENBERGER, RANGIORA**

**CD100499**

### **Roof Trusses**

Roof trusses supplied by Carters to the above project have been manufactured as per any Producer Statement Design issued by MiTek for consent purposes on the above project using verified timber grades that meet the requirements of NZS3603 and NZS3622. Any laminated veneer lumber that has been supplied as part of a roof truss meets the requirements of AS/NZS4357 and NZS3603. Carters is a licensed MiTek fabricator.

### **Pre Nailed Wall Frames**

Pre-nailed Wall frames supplied by Carters to the above project have been manufactured using verified timber grades, where required, that meet the requirements of NZS3603 and NZS3622. Any Laminated veneer lumber lintels that have been supplied as part of a pre-nailed wall frame meet the requirements of AS/NZS4357 and NZS3603.

### **Timber Treatment**

All treated timber products used in any items manufactured by Carters in the above project, are not less than the minimum levels specified in the plans, specifications and information supplied by the customer.

### **NZ Standards**

NZ Standards listed in this statement are cited as acceptable solutions in the approved documents NZBC B1/AS1 Structure or B2/AS1 Durability as a means of complying with the NZ Building Code.

*John Bannon*

**MANUFACTURING MANAGER**

**CHRISTCHURCH**

**Carters, a division of Carter Holt Harvey.**

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC141564.01 30/10/2014 miker



Building Consent 141564  
Received 04/09/14

<i>Page Number</i>	<i>Page revision date</i>	<i>Drawing Title</i>
SITE		
A10		SITE PLAN
A11		LANDSCAPE & SITE DETAILS
PLANS		
A2.0		SET OUT PLAN
A2.1	2/9/14	FOUNDATION PLAN
A2.2		SLAB PLAN
A2.3	2/9/14	BRACING PLAN
A2.4		INSULATION & ELECTRICAL PLAN
A2.5		FLOOR PLAN
ELEVATIONS		
A3.0	2/9/14	ELEVATIONS
SECTIONS		
A4.0		SECTIONS B
A4.1		SECTIONS A & C
DETAILS		
A5.0	2/9/14	FOUNDATION DETAILS
A5.1	2/9/14	FRAMING DETAILS
A5.2		ROOFING DETAILS
A5.3		PLUMBING DETAILS
A5.4		CLADDING DETAILS
A5.5		CLADDING DETAILS
SCHEDULES		

SITE DESCRIPTION	
Zone	R2
Lot No	146 DP TBA
FLOOR AREA	196.09 sam
SITE AREA	643.19 sam
SITE COVERAGE	30.49 %
GARAGE AREA	37.82 sam
CORROSION ZONE	C
WIND ZONE	H
EARTHQUAKE ZONE	2
SNOW LOAD	0.428kPa
TC ZONE	2



**HORNCASTLE HOMES LTD.**



4-2-15



141564

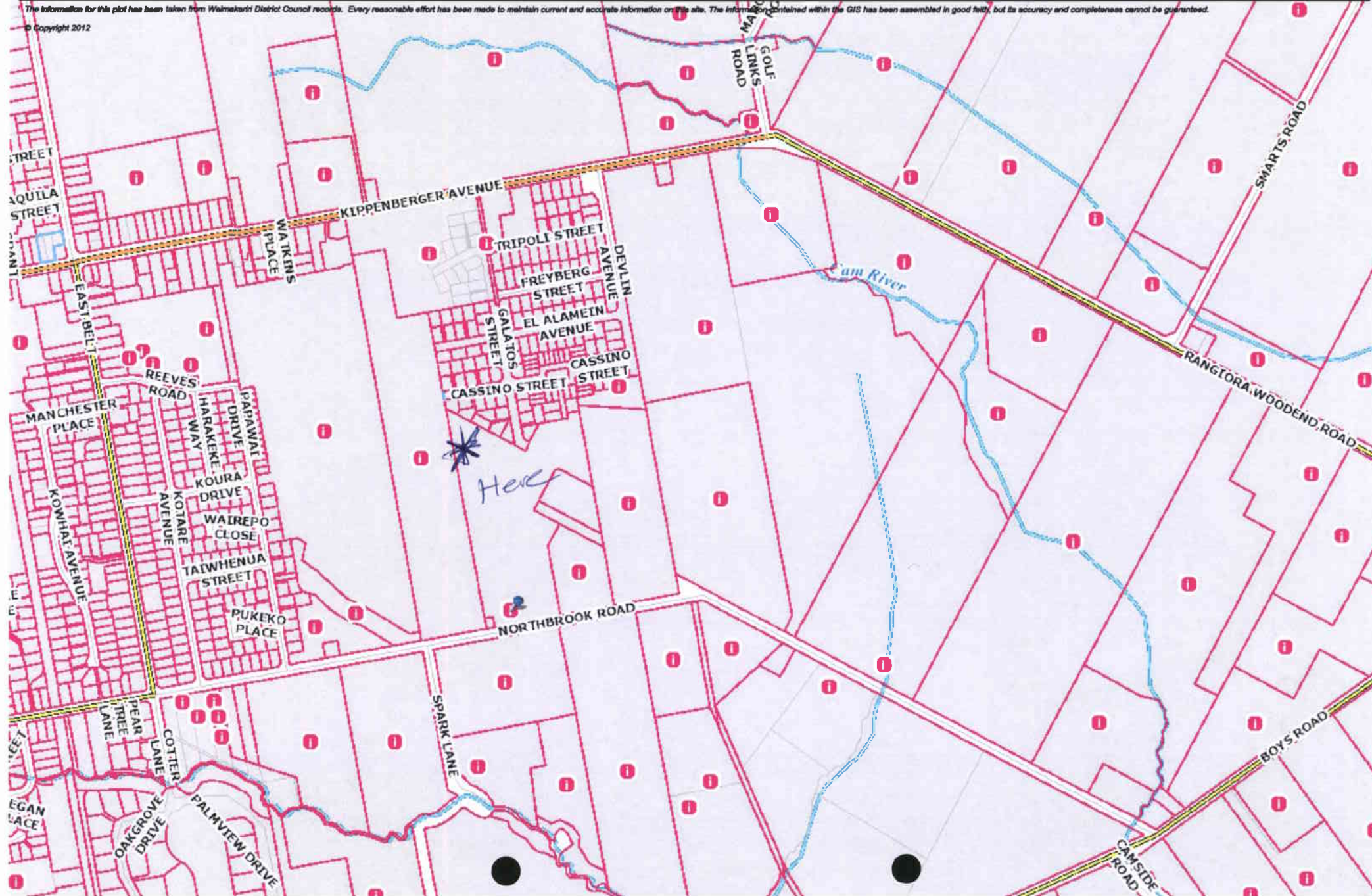




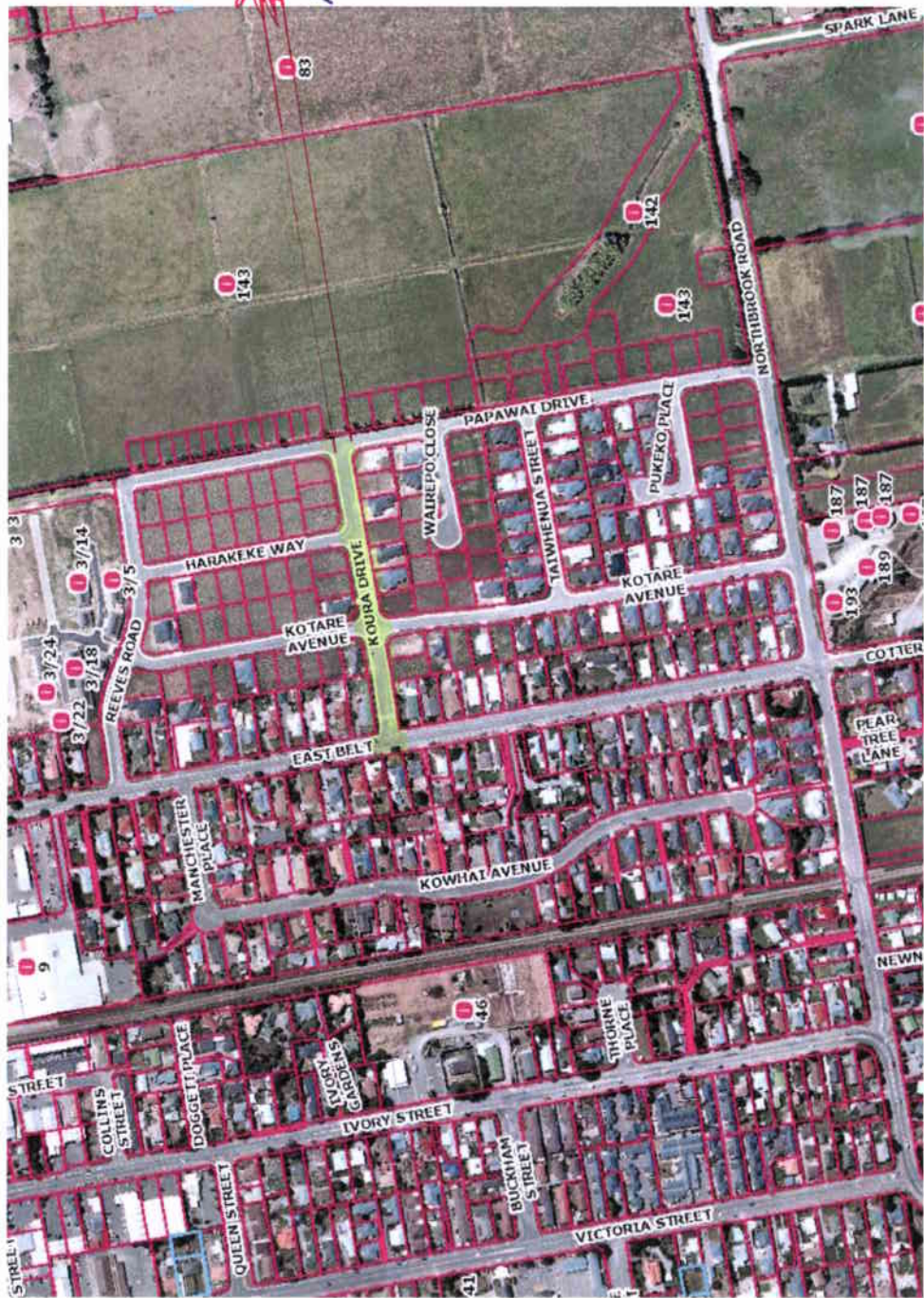


The information for this plot has been taken from Waimakariri District Council records. Every reasonable effort has been made to maintain current and accurate information on this site. The information contained within the GIS has been assembled in good faith, but its accuracy and completeness cannot be guaranteed.

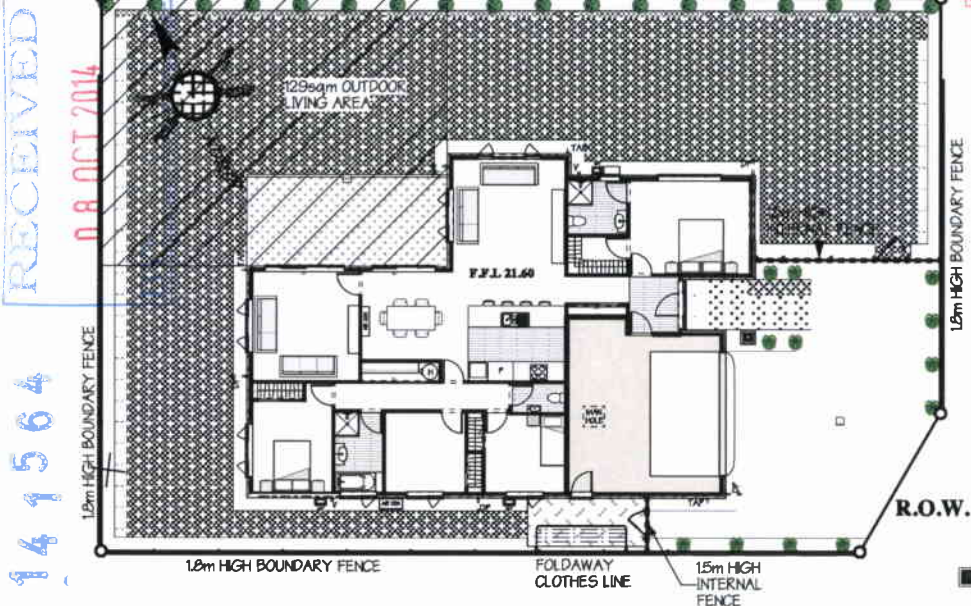
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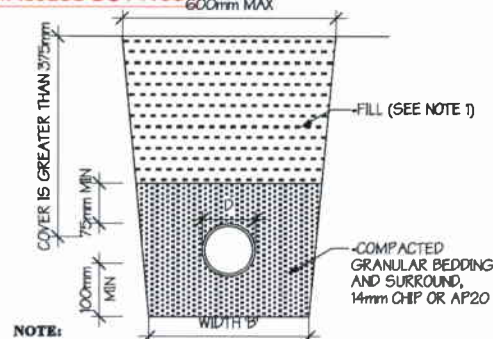




## LANDSCAPE PLAN

Scale: 1:200

Consent Issued BC141564



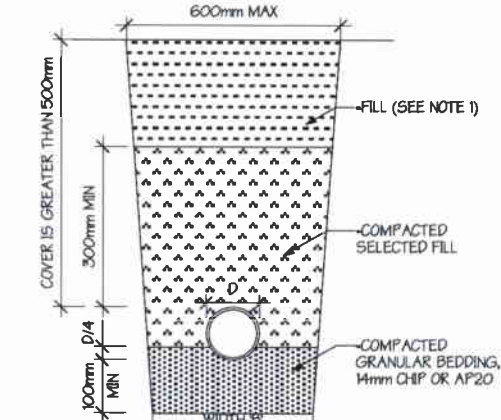
### NOTE:

1. FILL SHALL BE:  
-ORDINARY WHERE DRAINS ARE LOCATED BELOW GARDENS AND OPEN COUNTRY  
-COMPACTED SELECTED FILL WHERE THE DRAINS ARE LOCATED BELOW RESIDENTIAL DRIVEWAYS AND SIMILAR AREAS SUBJECT TO LIGHT TRAFFIC
2. WIDTH 'B' SHALL BE THE PIPE DIAMETER + 200mm

## BEDDING & BACKFILLING

BEDDING TYPE 'D' OF NZS 7643  
COVER GREATER THAN 375mm

WAIMAKARIRI DISTRICT COUNCIL  
Plans and specifications APPROVED in accordance  
with the Building Act 2004, clause 49 and the Building  
Regulations 1992, Clause 3  
141564 9/15/2014 Dawn



### NOTE:

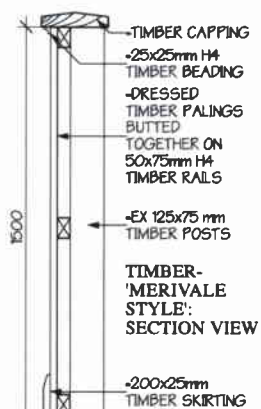
1. FILL SHALL BE:  
-ORDINARY WHERE DRAINS ARE LOCATED BELOW GARDENS AND OPEN COUNTRY  
-COMPACTED SELECTED FILL WHERE THE DRAINS ARE LOCATED BELOW RESIDENTIAL DRIVEWAYS AND SIMILAR AREAS SUBJECT TO LIGHT TRAFFIC
2. WIDTH 'B' SHALL BE THE PIPE DIAMETER + 200mm

## BEDDING & BACKFILLING

BEDDING TYPE 'B' OF NZS 7643  
COVER GREATER THAN 500mm

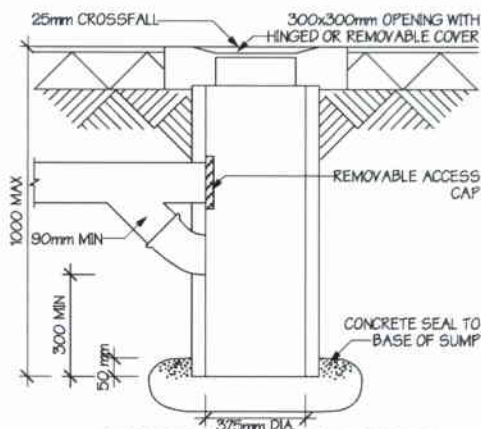
LANDSCAPING NOTES:  
-READYLAWN LAYOUT IS  
INDICATIVE ONLY (TO BE  
CONFIRMED BY OWNER ON SITE)  
-BASIC SHRUB LAYOUT TO BE  
CONFIRMED BY OWNER ON SITE

SURFACE FINISHES & AREAS		
DRIVEWAY	ASPHALT	64.50 sqm
SERVICE COURT	PLAIN CONCRETE	8.06 sqm
ENTRY PATH	EXPOSED AGGREGATE	8.79 sqm
PATIOS	EXPOSED AGGREGATE	25.68 sqm
12m STD. FENCE		58.71 m
12m POOL STYLE		37.28 m
15m MERY FENCE		8.90 m
LAWN		265.04 sqm



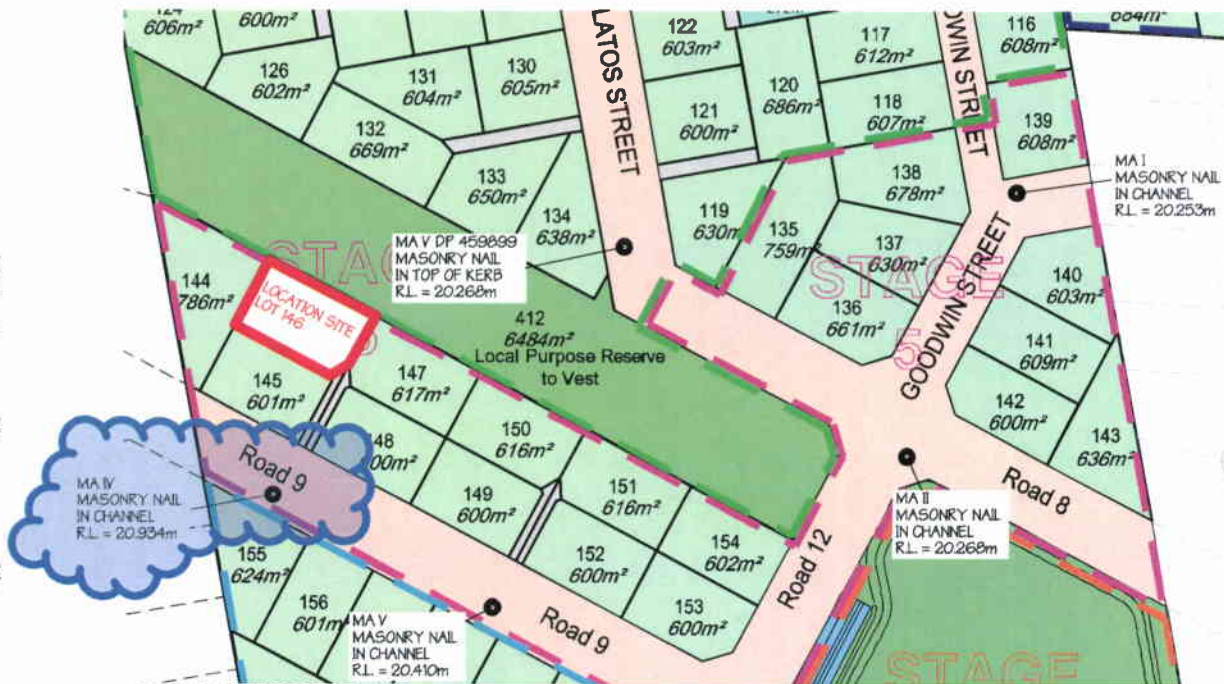
## FENCE DETAIL

Scale: 1:20



## TYPE 1 WATER SUMP

Scale: 1:20



## LOCATION PLAN NTS



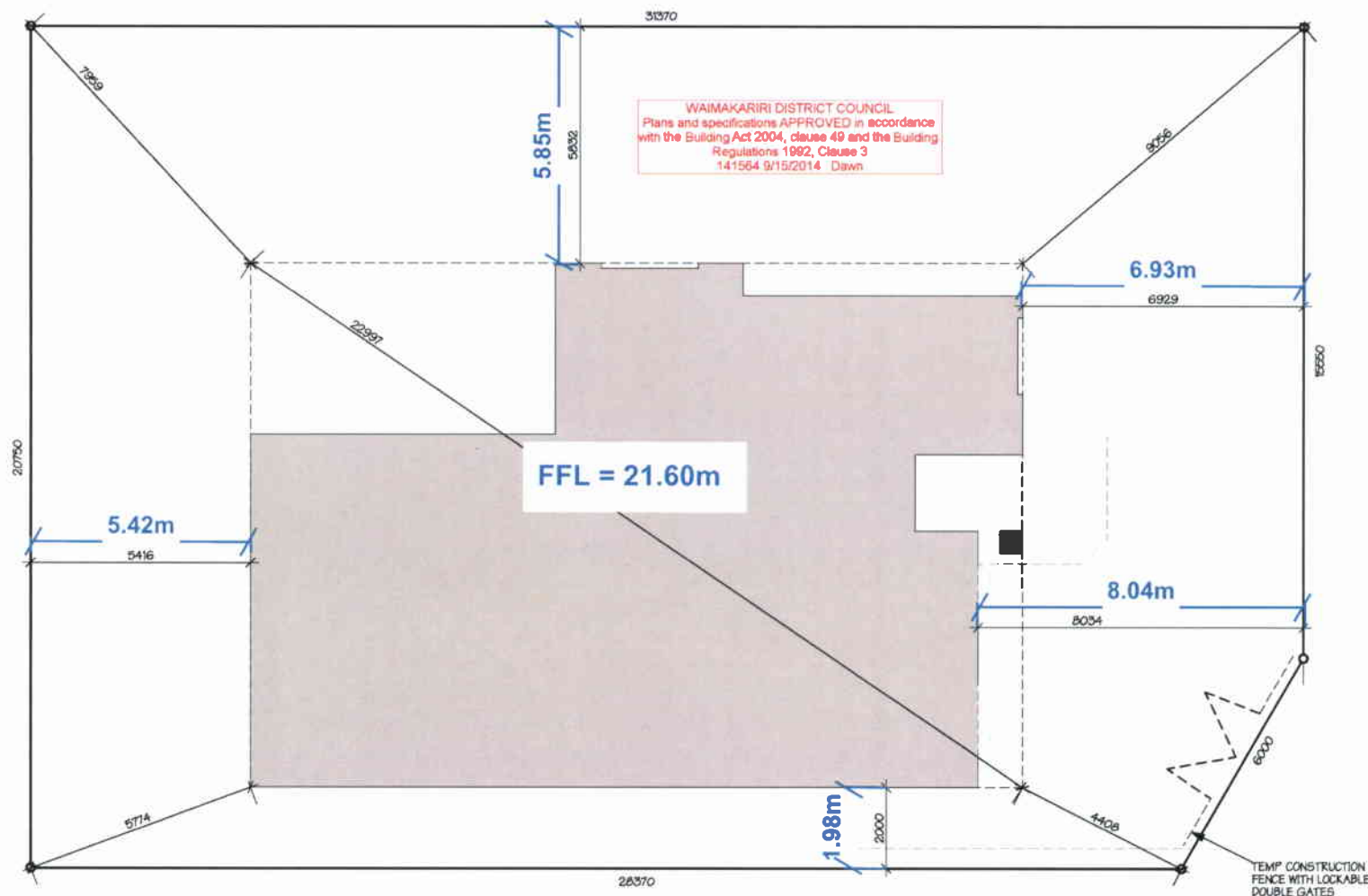
141564



# BUILDING LOCATION CERTIFICATE DIAGRAM BC141564



Consent Issued BC141564



1000 Measured off-set distances of the building from the boundary

Engineer Required To  
Inspect Foundations  
Surveyor Required To  
Confirm Positioning

**C. Certification**

1. I hereby certify that the site level origin point, setback and level of the ~~ground/profiles~~/formwork have been surveyed at the critical points. And that this certificate has been prepared from measurements taken by the certifier or under their supervision.
2. The measured levels and calculated setbacks at the critical points are in accordance with the attached diagram.
3. The siting and levels are in accordance with the approved Building Consent plans: ☐ No ☒ Yes - go to 5. below
4. The areas of departure from the approved Building Consent plans are listed and illustrated on the attached diagram.

5. Certified by: (print name) Andrew Darren Fry  
**Registered Professional Surveyor / Licensed Cadastral Surveyor**  
 (delete as appropriate)  
 Licence No: 2013571

Signature:

Date:

08/10/2014


**D. Diagram**

Departures from Building Consent details? ☐ No ☒ Yes – please list and illustrate departure details below

Departure details:

The building profiles have some minor departures from the consent plans. These departures are within the accuracy specified in the Christchurch City Councils Building Location Certificate Guidance Notes (B-385), see notes below, so are considered minor and still within Council rules.

Does building still comply? ☒ Yes ☐ No

Diagram: (Site level origin point, north point, boundary bearings and distances, critical setbacks/levels)

See attached diagram for formwork offsets to boundary.

Levels have been taken on top of the formwork which will be the finished floor level.

As no guidance notes for the preparation of a building location certificate can be found on the Waimakariri District Council website we have therefore used the form and guidance notes prepared by the Christchurch City Council in the preparation of this certificate. The Building Location Certificate Guidance Notes (B-385) specify in Section C, Item 3 a relative accuracy of +/-40mm for measured boundary offsets and levels.

Certified correct by: (print name) Andrew Darren Fry  
**Registered Professional Surveyor / Licensed Cadastral Surveyor**  
 (delete as appropriate)

Signature:

Date: 08/10/2014





# Building Location Certificate

Please email this Certificate to:

For guidance on how to complete this certificate, please refer to the [guidance notes](#).

<b>Project Number:</b>	BC141564	<b>Purpose of Building Location Certificate: (refer to Building Consent Conditions)</b> <input checked="" type="checkbox"/> Subdivision not complete, Consent No: <input type="checkbox"/> Hill Sites <input type="checkbox"/> Close to planning limits <input type="checkbox"/> Resource Consent (RC) conditions, e.g. Recession plane/setback/EUR issue, Consent No: <input type="checkbox"/> Building Consent (BC) conditions, e.g. Consented document requirements, Fire wall/Est. legal boundary, Consent No: <i>(Please refer to RC &amp; BC condition requirements)</i> <input type="checkbox"/> Inspector finds it difficult to locate pegs/boundaries <input type="checkbox"/> Minimum floor level (flooding) <input type="checkbox"/> Setting Out Certificate
<b>Date of Building Consent Approval:</b>	15/09/2014	
<b>Property Address:</b>	Kippenberger Stage 5	
<b>Legal Description:</b>	Lot 146 LT 476266 - proposed	
<b>Computer Freehold Register:</b>	661051 - allocated	
<b>Survey Firm:</b>	Mainland Surveying Ltd	
<b>Surveyor:</b>	Andrew Fry	
<b>Surveyor's Job Reference:</b>	1003 (HHL-J4146)	

<b>A. Level Datum</b> (To clarify the measured levels for this certificate are in terms of a specific datum and/or determine the relationship to the datum used for the approved building consent plans.)		
1. Measured site level origin is in terms of: SS III DP 444022 RL=22.126	<input type="checkbox"/> <input checked="" type="checkbox"/> Absolute (Lyttelton Vertical Datum 1937) <input type="checkbox"/> Relative (False assumed Datum)	
2. Approved Building Consent plans site level origin is in terms of: SS III DP 444022 RL=22.126	<input type="checkbox"/> <input checked="" type="checkbox"/> Absolute (Lyttelton Vertical Datum 1937) <input type="checkbox"/> Relative (False assumed Datum)	
3. Measured site level origin point: Site bench mark description - MA IV LT 476266	RL = 20.934m	Difference:  0.00
4. The approved Building Consent plans record level at the same point in 3 above.	RL = 20.934m	
5. Does the site have a minimum specified Floor Level Area? (refer to <a href="http://www.ccc.govt.nz/floorlevels">www.ccc.govt.nz/floorlevels</a> ) (Website is a guide only) <b>At building consent stage Council will specify a minimum finished floor level. (The applicant/applicant's agent must make certain the final level is on the consented plans).</b>		
<input type="checkbox"/> Yes <input type="checkbox"/> No		
6. What is the minimum specified Floor Level? RL =	<input type="checkbox"/> PIM Ref No: <input type="checkbox"/> BC Ref No:	Date: Date:

<b>B. Building Location</b> (The profiles/formwork for the foundation/floor slab for the above project has been set out in accordance with the measurements shown below:	
1. The measured setback of the <del>profiles/formwork/foundation/floor</del> (delete as appropriate) from the boundary is:	See attached diagram
2. The level of the finished floor level will be: (assuming foundation to floor thickness of):	21.60m 0.00m
3. The measured adjoining boundary level is:	N/A
4. Time (am/pm) and date of measurement:	am 06 October 2014



## NOTICE OF INSPECTION

Section 90 Building Act 2004

56390

Owners Name: Homcastle Homes Local Auth. Consent No. 141564

Site Address: 41 Koura Dr Officer: Mike Rowe

To the Owner / Agent / Occupier / Contractor

How Notified

☒ Notified Direct ☐ Left on Site ☐ Faxed

Please take note that on the 3 / 10 / 14 at 3:30 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Pre DPM Lot 146

Project Description: New Dwelling + Att Garage

Inspection Notes: Passed items:-

- compacted AP 40 in place extending 600mm+ beyond dwelling foundation ✓
- crusher dust / sand blinding 30mm deep over ✓
- Lot 146 - all survey pegs located ✓
- outside boxing in place - siting as per plan - string lines in place ✓

OK to place DPM / pods

\* survey to confirm F.F.L.

All work as per consent documents ☒ Yes ☐ No  
Amendments required ☐ Yes ☒ No  
Reinspection Required ☐ Yes ☒ No

Signature Mike Rowe





# NOTICE OF INSPECTION

Section 90 Building Act 2004

72916

Owners Name: HORNCASTLE HOMES LTD

Local Auth. Consent No. 141584

Site Address: 41 KOURA DRIVE

Officer: JOHN DUGAND

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct

☐ Left on Site

☐ Faxed

Please take note that on the 9 / 10 / 14 at 12 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: REPAIR SUB

LBP Number: \_\_\_\_\_

Project Description: NEW DWELLING

Inspection Notes: PASSED ITEMS

- PODS, REINFORCEMENT TO BEAM & RIPS, DUCTILE MESH ON CHAIRS ALL IN PLACE AND READY FOR ENGINEERS INSPECTION ✓
- WASTES & RELIEF PIPE WIPPED/CUTTED & LAD TO FALLS ✓
- PERGATE FORMED FOR CLODDING & GARAGE DOOR ✓

SITE INSTRUCTION

- SUBS TO BE BARTHERD ✓
- ENGINEER TO INSPECT & ISSUE PS4. ✓
- BUILDING LOCATION CERTIFICATE REQUIRED FOR & RECEPTION PLANE. ✓

FAILED ITEMS

- 1:40 FALL NOT ACHIEVED TO KITCHEN WASTE ✓
- 1:30 FALL NOT ACHIEVED TO LAUNDRY WASTE. ✓

All work as per consent documents ☐ Yes ☒ No

Amendments required ☐ Yes ☒ No

Reinspection Required Yes ☒ Yes ☐ No

Contractors Signature \_\_\_\_\_

Signature John Dugand



# NOTICE OF INSPECTION

Section 90 Building Act 2004

48750

Owners Name: HORNCASIER HOMES

Local Auth. Consent No. 141564

Site Address: 41 MOUHA DRIVE

Officer: John D McGILL  
0297685410

To the Owner / Agent / Occupier / Contractor

How Notified

☐ Notified Direct ☐ Left on Site ☐ Faxed

Please take note that on the 29 / 10 / 14 at 10-30m/pm this site was inspected pursuant to Building Act 2004

Inspection Type: STRUCTURE ERE ROOF

Project Description: RESIDENCE + ATTACHED GARAGE

Inspection Notes: PASSED TREMB

- Pushing 20x45 - Fixing 1 screw in hole ✓
- THUS TO TOP PLATE 2 NAILS / ~~CT~~ CT 200 ✓
- TOP PLATE TO STUD - STUD STAY ✓
- Lintel sizes as per plan ✓
- Lintel fixings as per mixed plan ✓
- Menth Roof STAY BRACE ✓
- Valleys supported Bottom end ✓
- BRACE Pinned as per plan ✓
- Bottom PLATE Fixing ✓
- Gable End over Riggers 2 NAILS TO E THUS ✓
- THUS TO THUS JOIST HANGERS ✓
- Internal THUS Fixings to TOP PLATE CPC 40 ✓

PASSED OK to Continue

\* Previous SITE INSTRUCTION  
NOT SEEN SLAB PAPER

All work as per consent documents ☒ Yes ☐ No  
Amendments required ☐ Yes ☒ No  
Reinspection Required ☒ Yes ☐ No

Signature 





# NOTICE OF INSPECTION

Section 90 Building Act 2004

64601

Owners Name: HORNCastle Homes

Local Auth. Consent No. 141564

Site Address: 41, Koura Rd

Officer: LEE BISHOP

To the Owner / Agent / Occupier /Contractor

How Notified

☒ Notified Direct

☐ Left on Site

☐ Faxed

Please take note that on the 24 / 11 / 14 at 8:30 am this site was inspected pursuant to Building Act 2004

Inspection Type: Drains LBP Number: \_\_\_\_\_

Project Description: OWS ATT GARAGE

Inspection Notes: PASSED ITEMS

Drains Laid + Chipped up @ 1-80 Free ✓  
Stormwater Laid + Chipped up @ VIA B.U.S ✓  
Water Test OK. ✓  
AS Laid Plan Drawn ✓  
Screen Tank Dimension 24711 ✓

Contractors Signature \_\_\_\_\_

Signature [Signature]

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No



# NOTICE OF INSPECTION

Section 90 Building Act 2004

69426

Owners Name: HORNCASTLE HOMES

Local Auth. Consent No. 141564

Site Address: 41 Koura Drive

Officer: Joan Dugand

To the Owner / Agent / Occupier / Contractor

How Notified

☒ Notified Direct ☐ Left on Site ☐ Faxed

Please take note that on the 27 / 11 / 14 at 2:30 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: WRAP / TAPE LBP Number: \_\_\_\_\_

Project Description: NEW DWELLING

Inspection Notes: PASSED ITEMS

- EOPM BARRIER NEEDED TO FRAME ✓
- EOPM BARRIER TAPE TO VERTICAL JOINTS ✓
- PLASTIC PROTECTANT FLASHINGS TO HORIZONTAL JOINTS ✓
- TAPE TO REVEALS OF OPENINGS ✓
- WANE BARS SECURED TO FRAME, CONSENT DETAIL SHOWS DPC OVER WANE BAR MULSEAL TO REGATE IN SONS. ✓

Contractors Signature \_\_\_\_\_

Signature [Signature]

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No



# NOTICE OF INSPECTION

Section 90 Building Act 2004

69425

Owners Name: HORNCASLE HOMES

Local Auth. Consent No. 141564

Site Address: 41 Koura Drive

Officer: John Durand

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct ☐ Left on Site ☐ Faxed

Please take note that on the 27 / 11 / 14 at 2 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Prelim & Plumbing LBP Number: \_\_\_\_\_

Project Description: NEW DWELLING

Inspection Notes: PASSED ITEMS

- INSULATION TO EXTERNAL WALLS & ROOF EXCLUDING GARAGE
- AIR SEALS TO OPENINGS IN EXTERNAL WALLS ✓
- BUTELINE FIREWALL TO FLOOR & COLD WATER FEEDS LAPPED IN GARAGE ✓
- SAFETY GLASS IN BATHROOM WINDOW ✓
- H.I.Z. CEILING BATTENS AT 400MM CENTRES DIRECT FIXED ✓
- BRACE KNOB DOWN MARKED ✓
- MOISTURE CONTENT UNDER 18% ✓

## SITE INSTRUCTION

- PLUMBER TO PROVIDE PS3 CONFIRMING COMPLIANCE OF WASTES.  
(RAISED SLAB INSPECTION ISSUE)

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Contractors Signature \_\_\_\_\_

Signature [Signature]



# NOTICE OF INSPECTION

Section 90 Building Act 2004

64649

Owners Name: HUNCASTLE HOMES LTD

Local Auth. Consent No. 141564

Site Address: 41, Koura Dr

Officer: LEE BISHOP

To the Owner / Agent / Occupier / Contractor

How Notified

☒ Notified Direct ☐ Left on Site ☐ Faxed

Please take note that on the 2 / 12 / 14 at 2:45 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: MIB LBP Number: \_\_\_\_\_

Project Description: DWS ATT GARAGE

Inspection Notes: PASSED ITEMS

40mm CAVITY MAIN TIES  
TIES @ EAVES 4<sup>TH</sup> COURSE  
WEEP HOLES  
FLASHINGS TO DOWNPIPS  
\* WAZZ BARS FITTED  
CAVITY CLOSED  
CHANGE OF CLADDING FLASHING

\* STILL WAITING FOR PLUMBER TO PROVIDE INFO  
ON LAUNDRY + KITCHEN WASTES AS REQUESTED  
TO BE PROVIDED FOR NEXT INSPECTION

\* SPOKE WITH PROCESSOR (VLAD)  
DRAWINGS INCORRECT FOR SILL FLASHINGS.  
METHOID TO BE REMOVED.

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Contractors Signature \_\_\_\_\_

Signature [Signature]





# NOTICE OF INSPECTION

Section 90 Building Act 2004

71503

Owners Name: HORNCastle HOMES LTD

Local Auth. Consent No. 141564

Site Address: 41 KOURA DRIVE

Officer: John Durand

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct ☐ Left on Site ☐ Faxed

MESSAGE ON DENNIS VOICEMAIL.

Please take note that on the 4 / 12 / 14 at 230am this site was inspected pursuant to Building Act 2004

Inspection Type: PRESTOP LBP Number: \_\_\_\_\_

Project Description: NEW DWELLING.

Inspection Notes: PASSED ITEMS

- ADJUTIVE IN BATHROOMS ✓
- DOWN GIB LINGS TO CEILING ✓

SIZE INSTRUCTION / FAILED ITEMS

- 1) PS3 NOT RECEIVED FOR WASTES IN SINKS (LAST INSPECTION STATED 'MUST BE PROVIDED AT NEXT INSPECTION')
- 2) WALLS STOPPED - UNABLE TO SEE BRACE SHEET FIXINGS

All work as per consent documents ☐ Yes ☒ No

Amendments required ☐ Yes ☒ No

Reinspection Required Yes ☒ Yes ☐ No

Contractors Signature \_\_\_\_\_

Signature [Signature]



7444

Owners Name Horncastle Homes Ltd

Local Auth. Consent No. 141564

Site Address 41 Koura Drive

Prime Job No. N.A.

Officer Andrew Kendall

Project Description Dwelling

Phone No. 0274538144

To the Owner / Agent / Occupier / Contractor

How Notified: ☐ Notified Direct ☒ Left on Site

Please take note that on the 4 / 2 / 15 at 1.51 am/pm this site was inspected pursuant to the Building Act 2004

COMPLIES YES NO

COMPLIES YES NO

COMPLIES YES NO

**Internal**

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 1 Safety glass                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 2 Window restraints                    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3 Window identification <u>High</u>    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 4 Suitable natural ventilation & light | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5 Smoke detectors                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 6 Plumbing finish                      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 7 Shower leak test                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 8 Fixtures secured & sealed            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 9 Impervious floor coverings           | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 10 Mechanical ventilation to exterior  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 11 Gas storage to outside              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 12 Gas hob protection                  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 13 Heating unit inspected              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

**Plumbing**

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 1 HWC (Type & size) <u>200L/min</u>                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 2 Seismic restraint                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3 Safe Tray   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 4 Tempering valve                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5 HWC valving   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 6 Hot water drain points                              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 7 Water Temperature _____ degrees                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 8 Header tank, restrained / tray / overflow / lagging | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 9 Floor waste gully water seal                        | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 10 Water Isolation Valve                              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 11 Open Vent  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

**Stairs & balcony**

- |                                 |                          |                                     |
|---------------------------------|--------------------------|-------------------------------------|
| 1 Treads & risers               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2 Handrail - height & dimension | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3 Hand rail bracket             | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4 Balcony / Handrail / Barrier  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5 Overflow relief               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Energy**

- |                            |                          |                                     |
|----------------------------|--------------------------|-------------------------------------|
| 1 Gas / Diesel tank siting | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2 Storage protection       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3 Capacity                 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4 Automatic shut off       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5 Gas storage ventilation  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Roof space**

- |                                      |                                     |                                     |
|--------------------------------------|-------------------------------------|-------------------------------------|
| 1 Ceiling insulation                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 2 Down light suitability             | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3 Solar panel support/fixing         | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 4 Roof underlay / laps               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5 Ducting suitably fixed & connected | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 6 Chimney restraints                 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 7 Fire break / Fire blanket          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

**Exterior**

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 1 FGL  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 2 Paved areas                                | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 3 ORG  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 4 S/W discharge                              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5 S/W sumps & Strip Drains                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 6 Size & location of TV                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 7 Finished height of GT                      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 8 Mechanical vents to external & operational | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 9 Weep holes / vents sealed (gas)            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 10 Weep holes / ventilation gaps             | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 11 Soffit / windows sealed                   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 12 Window flashings / facings                | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 13 Weathertightness                          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 14 Roof cladding suitably fixed              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 15 D/P connected                             | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 16 Snow straps / boards                      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |                                   |                                     |                                     |
|-----------------------------------|-------------------------------------|-------------------------------------|
| 17 Vermin proof (eg: Garage door) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 18 Roof penetrations sealed       | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 19 Solar Panel Flashing           | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 20 Effluent Field inspected       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

SUPPLIED REQUIRED

**General**

- |                                  |                                     |                                     |
|----------------------------------|-------------------------------------|-------------------------------------|
| 1 Form 6                         | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 2 As built drainage plan         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3 Effluent field PS3             | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 4 Gas certificate                | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 5 Electrical certificate         | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 6 Structural engineer site notes | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 7 Structural engineer PS4        | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 8 Exterior cladding PS3          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 9 Tanking PS3                    | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 10 Heating Unit PS3              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 11 Water test (Potable)          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 12 Plumbing Pressure Test        | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 13 Solar PS3                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 14 Commercial Final Checklist    | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 15 Butyl Membrane PS3            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 16 Hazardous Goods Cert          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 17 R M A inspection completed    | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

PS3 for wastes in slab.

PS3 for pre-stopping.

Inspection	Passed	<input type="checkbox"/>
	Failed	<input checked="" type="checkbox"/>
Re-Inspection	Yes	<input checked="" type="checkbox"/>
	No	<input type="checkbox"/>

Failed Items:

Signature [Signature]

- NA ✓ Seal gap into brick veneer cavity at linea to brick junctions ✓
- NA ✓ Drive way sump to have pipes sealed around & concrete base ✓
- NA ✓ Down pipes yet to position, including gulls on risers. ✓
- NA ✓ Water temperature yet to be hot ✓
- NA ✓ Bath unit surround tanking membrane & tiling to complete. ✓
- NA ✓ Kitchen extract fan yet to connect into duct (ceiling space). ✓
- NA ✓ Bathroom walls to seal & Shower fixtures to complete. Seal basins to walls. ✓

NB: This is not a Code Compliance Certificate



# NOTICE OF INSPECTION

Section 90 Building Act 2004

59215

Owners Name: Hurncastle Homes Ltd

Local Auth. Consent No. 141564

Site Address: 41 Koura Drive  
Rangiora

Officer: Nes Holland

To the Owner / Agent / Occupier / Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 17/2/15 at 11:00 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Final Reinspection

Project Description: Dwelling

Inspection Notes: Passed Items

- Brick / liner junction sealed at base. ✓
- Pipes sealed into Bubble Up sump. ✓
- Dampers / risers / grills in place. ✓
- Water Temperature 53° ✓
- Bathroom complete, tiles completed & sealed, Shower fixtures completed. - water test carried out. ✓
- Kitchen extract fan connected ✓

Please ensure all outstanding payment provided

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature [Signature]

